

- NOTES
- THIS SURVEY IS BASED UPON THE FOLLOWING DATA AND/OR RECEIPTS:

A. DEED OF RECORD	X	---
B. FILED MAP	X	---
C. FIELD SURVEY	X	---
D. TITLE SEARCH	---	X
E. TAX MAP	X	---
F. OTHER (SEE REFERENCES)	X	---

2. THIS SURVEY REPRESENTS CONDITIONS VISIBLE ON OR ABOVE THE SURFACE OF THE GROUND AT THE TIME OF THE SURVEY. THE UNDERSIGNED PROFESSIONAL IS NOT RESPONSIBLE FOR THE PRESENCE OF UNDERGROUND UTILITIES OR STRUCTURES IF SAME ARE NOT VISIBLE OR OTHERWISE DISCLOSED BY ANY OF THE ABOVE DATA.

3. THIS SURVEY AND PLAN IS MADE FOR AND CERTIFIED TO THE PARTIES NAMED HEREON FOR THE PURPOSE(S) STATED. NO OTHER PURPOSE IS INTENDED NOR IMPLIED. THE UNDERSIGNED SURVEYOR IS NEITHER RESPONSIBLE NOR LIABLE FOR THE USE OF THIS SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN THE CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY.

4. IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL AND MAY HAVE BEEN ALTERED.

5. PARCEL CONTAINS 12,500 S.F. ±.

6. A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L.2003,c.14(45:8-36.3) AND N.J.A.C. 13:40-5.1(d).

7. ELEVATIONS SHOWN HEREON ARE BASED UPON AN ASSUMED DATUM. LOCAL BENCHMARK IS THE RIM OF A SANITARY SEWER MANHOLE LOCATED IN THE CENTERLINE ETHEL PLACE NEAR THE MOST WESTERLY CORNER OF TAX 40 BLOCK 205. (THE SUBJECT PROPERTY) RIM ELEVATION = 100.00 (ASSUMED)

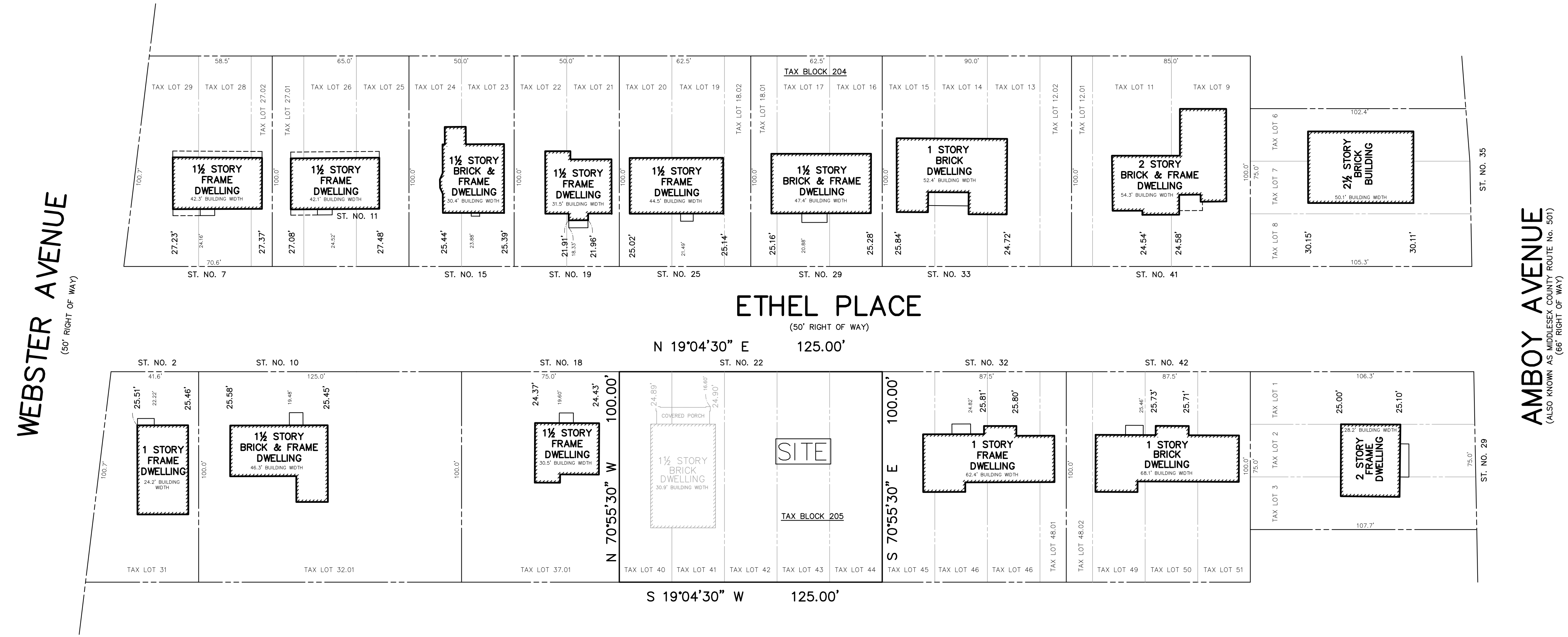
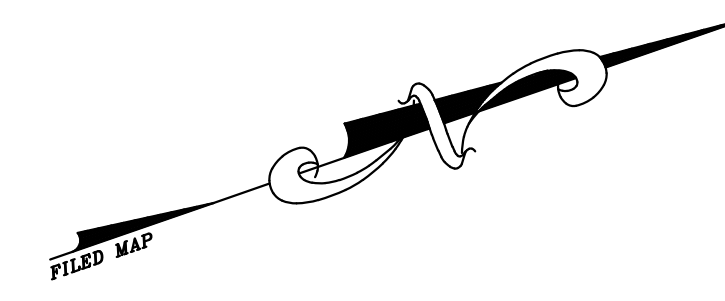
8. NO DETERMINATION WAS MADE AS TO THE PRESENCE AND/OR NONEXISTENCE OF TOXIC WASTES OR WETLANDS. THE CLIENT SHOULD PURSUE THESE MATTERS AS ITEMS SEPARATE AND APART FROM THIS PLAN.

9. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY AND COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL UTILITY INFORMATION TO HIS SATISFACTION PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL PERFORM TEST PITS WHERE EXISTING UTILITIES ARE TO BE CROSSED. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS MAY BE REQUIRED TO AVOID CONFLICTS.

RECORD DEED DEED BOOK 17583, PAGE 587 TAX MAP SHEET NO. 70

REFERENCE SURVEY PREPARED BY BRUNSWICK SURVEYING INCORPORATED, DATED 7/20/2020

FILED MAP DATA *MAP OF METUGEN HOMESTEADS, THE PROPERTY OF JENS N WESTER,* FILED 4/23/1930 AS MAP NO. 1311, FILE 714



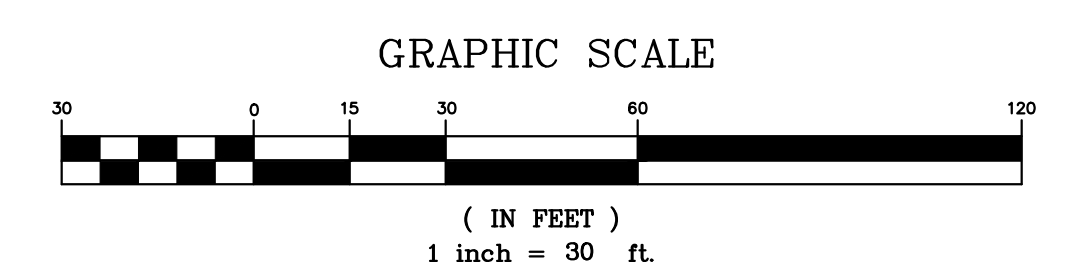
ETHEL PLACE
(50' RIGHT OF WAY)

N 19°04'30" E 125.00'

S 19°04'30" W 125.00'

AVERAGES

BLOCK	LOT	LOT AREA	LOT WIDTH	FRONT YARD SETBACK	BUILDING WIDTH
204	6/7/8	FRONTS ON AMBOY AVENUE, NOT INCLUDED IN ANALYSIS			
204	9/11	8,500 S.F.	85.0'	24.54'	54.3'
204	13/14/15	9,000 S.F.	90.0'	24.72'	52.4'
204	16/17	6,250 S.F.	62.5'	25.16'	47.4'
204	19/20	6,250 S.F.	62.5'	25.02'	44.5'
204	21/22	5,000 S.F.	50.0'	21.91'	31.5'
204	23/24	5,000 S.F.	50.0'	25.39'	30.4'
204	25/26	6,500 S.F.	65.0'	27.08'	42.1'
204	28/29	6,451.37 S.F.	67.55'	27.25'	42.3'
205	1/2/3	FRONTS ON AMBOY AVENUE, NOT INCLUDED IN ANALYSIS			
205	31	4,770.39 S.F.	44.67'	25.46'	24.2'
205	32.01	12,500.05 S.F.	125.0'	25.45'	46.3'
205	37.10	7,500 S.F.	75.0'	24.37'	30.5'
205	45/46/48.01	8,750 S.F.	87.5'	25.80'	62.4'
205	49/50/51	8,750 S.F.	87.5'	25.71'	68.1'
AVERAGE:		7,309 S.F.	73.2'	25.2'	44.3'



ETHEL PLACE NEIGHBORHOOD EXHIBIT
BLOCK 204
 TAX LOT LOTS 6-9, 11-29
BLOCK 205
 TAX LOT LOTS 1-3, 31, 32.01, 37.01, 40-51
 BOROUGH OF METUCHEN, MIDDLESEX COUNTY, NEW JERSEY



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REVISIONS:

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