



BOROUGH OF METUCHEN

MIDDLESEX COUNTY

Tel. (732) 632-8540 • Fax (732) 632-8100 • 500 Main Street • Metuchen, N.J. 08840

APPLICATION FOR DEVELOPMENT

Control Information (Office Use Only)

21-1280 E	Phoenix Main St	12-18-2020	1-15-2021
Application Number	Applicant Name	Date Received	Date Deemed Complete

1. Application

A. Location

Street Address 410 Main Street

Block 121 Lot 9 Zone B-1

Situated on East side of Main Street

distant 129.09' feet from Hillside Avenue

B. The Site is Located:

Within 200' of Edison Township Adjacent to County Road Adjacent to State Highway

C. Status:

New Revision or Resubmission of Prior Application No. 19-1234

D. Type (Check all that Apply):

Concept Preliminary Final Conditional Use Approval

Minor Site Plan Major Site Plan Minor Subdivision Major Subdivision

(a) – Appeal (b) – Interpretation (c) – Variance (Bulk) (d) – Variance (Use)

Request for Waiver of Submission Requirements Other Any other relief needed to grant application

E. Nature of Relief or Variance Request (List Ordinance Reference Sections)

Prelim/Final Site Plan Approval per approved Redevelopment Plan and Redevelopment Agreement. No variances requested. Waiver of submission requirements from Section 110. In addition, any and all other variances, exceptions and waivers as may be deemed necessary by the Board during the course of the hearing.

F. Date and Disposition of any previous Board Hearings involving this Site

None known to current owner.

G. Plat Submission (List maps and other exhibits accompanying this application)

Plans prepared by Mark Marcille, Architect S-1 to S-3 and A-1 to A-5

2. Applicant Information

A. Applicant

First Name Phoenix 410 Main Street, L.L.C. Phone (732) 603-9100
Last Name _____ Phone _____
Street Address 402 Main Street, Suite 204 Fax (732) 321-9168
City / State Metuchen, NJ Zip 08840 Email eberger@usrealestateacq.com

B. Applicant is a/an:

Individual Partnership Corporation Other _____

C. Applicant's Relationship to Owner:

Owner Lessee Purchaser Under Contract Other _____

D. Owner (if other than Applicant; requires Owner's Consent on Page 6)

First Name _____ Phone _____
Last Name _____ Phone _____
Street Address _____ Fax _____
City / State _____ Zip _____ Email _____

3. Applicant's Experts

A. Attorney (Required if Applicant is a Corporation; must be a licensed in the State of New Jersey)

Name Eric H. Berger, Esquire Phone (732) 321-5155
Street Address 402 Main Street, Suite 204 Fax (732) 321-9168
City / State Metuchen, NJ Zip 08840 Email eberger@usrealestateacq.com

B. Engineer

Name _____ Phone _____
Street Address _____ Fax _____
City / State _____ Zip _____ Email _____

C. Architect

Name Mark Marcille Phone (732) 662-5824
Street Address 505 Main Street Fax (732) 662-5826
City / State Metuchen, NJ Zip 08840 Email mark@mpm-arch.com

D. Other Professional Consultants

Name _____ Phone _____
Street Address _____ Fax _____
City / State _____ Zip _____ Email _____

4. Plat / Plan Data

A. Present Use of Land / Structure

Former Ice Cream Shop (vacant since December, 2019)

B. Proposed Use of Land / Structure

Ground levels: (1) continued Main Street commercial use of 2,560 square feet; (2) convert rear of existing Main Street commercial space and adjacent parking lot into four small offices accessible from Station Place; and (3) add new commercial space facing Station Place.
Upper floors: 15 apartments (one COAH 2BR, one COAH 3BR, four market rate 2BR and nine market rate 1BR) on the second, third and fourth floors with access solely from Station Place.

C. Building Data

Existing :	Floor Area:	3,894	Height in Stories & Feet:	1 Story/21'
Addition:	Floor Area:	15,300	Height in Stories & Feet:	4 Story/48.4'
New Bldg:	Floor Area:		Height in Stories & Feet:	
Total Floor Area:				

D. Subdivision Data

Area:	Entire Tract:		Portion being subdivided:	
No. of Lots:	Present		Proposed:	
No. of Units:	Demolished:		Proposed:	
Purpose:				

E. Non-Residential Use Data

	Present	Proposed
Total Floor Area of Building:	3,894	4,669
Floor Area to be Occupied:	3,894	4,669
Off-Street Parking:	4	0
Number of Employees:	7	TBD
Days & Hours of Operation:	11AM - 9PM	TBD
Machinery / Equipment Used:	TBD	
Description of Operation(s):	Permitted uses per Redevelopment Plan.	

5. Request for Bulk Variance

A. Bulk Regulations

	District Requirements	Present	Proposed	Variance
Min. Lot Area	4,000sf	7,931	No Change	<input type="checkbox"/>
Min. Lot Width	40'	30.31'/49'	No Change	<input type="checkbox"/>
Min. Lot Depth (Average)	100'	200'	No Change	<input type="checkbox"/>
Min. Front Yard Setback	10'	3.7' Main/39.2' Station	3.7'/0'	<input type="checkbox"/>
Min. Side Yard Setback (Left)	0'	0'/19.2'	0'/6'	<input type="checkbox"/>
Min. Side Yard Setback (Right)	0'	4.7'	No Change	<input type="checkbox"/>
Min. Side Yard Setback (Combined)	0'	4.7'	No Change	<input type="checkbox"/>
Min. Rear Yard Setback	10'	N/A	N/A	<input type="checkbox"/>
Max. Building Coverage	70%	49%	74%	<input type="checkbox"/>
Max. Impervious Coverage	90%	100%	No Change	<input type="checkbox"/>
Max. Height	35'	21'	48.4	<input type="checkbox"/>

B. Describe below the nature of the constraints imposed by the physical characteristics of the property.

Long, thin property with other buildings in close proximity which fronts on 2 streets at different elevations.

C. Describe below any other exceptional conditions of the property that prevent the applicant from complying with the Zoning Ordinance.

No variances requested.

D. Describe below how not granting this variance request would impose difficulties or undue hardship upon you.

No variances requested.

E. Describe below how the granting of the variance request will not result in substantial detriment to the public good nor substantially impair the intent and purpose of the Zone Plan and the Zoning Ordinance.

No variances requested.

6. Request for Conditional Use Approval / Use Variance

A. Describe below the specifics of the request.

No variances requested.

B. Describe below the special reasons which exist that support the granting of the request.

No variances requested.

C. Describe below how the public interest will be served by the granting of the request.

No variances requested.

D. Describe below what circumstances exist or what measures will be taken to ensure that, if the request is granted, the surrounding property owners will experience no adverse impact or undue burden.

No variances requested.

E. Describe below how the granting of the request will not result in substantial detriment to the public good nor substantially impair the intent and purpose of the Zone Plan and the Zoning Ordinance.

No variances requested.

7. Correspondence

A. Person to be contacted in regard to all matters pertaining to this Application (If other than Applicant)

First Name Eric Phone (732) 603-9100
Last Name Berger Phone _____
Street Address 402 Main Street, Suite 204 Fax (732) 321-9168
City / State Metuchen, NJ Zip 08840 Email eberger@usrealestateacq.com

8. Verification and Authorization

I, THE UNDERSIGNED, HEREBY MAKE APPLICATION FOR AN APPLICATION FOR DEVELOPMENT ONLY FOR THE LOCATION AND THE WORK DESCRIBED HEREIN AND CERTIFY TO THE ACCURACY OF THAT INFORMATION. I ACKNOWLEDGE THAT IT IS MY RESPONSIBILITY TO BE AWARE OF AND COMPLY WITH ALL ZONING REQUIREMENTS OF THE BOROUGH OF METUCHEN RELATING TO THIS APPLICATION. I UNDERSTAND THAT FAILURE TO PROVIDE ACCURATE INFORMATION OR TO COMPLY WITH ANY PROVISIONS OF THE APPLICATION RENDERS IT NULL AND VOID AND MAY RESULT IN AN ENFORCEMENT ACTION.

CONSTRUCTION OF IMPROVEMENTS WILL NOT BE COMMENCED AT THE ABOVE LOCATION UNTIL THE APPLICANT/OWNER IS IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS REGARDING ZONING AND PROPERTY MAINTENANCE AS DEFINED BY THE CODE OF THE BOROUGH OF METUCHEN. THIS APPLICATION AND ASSOCIATED APPROVALS DO NOT WAIVE ANY OTHER RESTRICTIONS OR REGULATIONS IMPOSED PRIVATELY OR BY LAW.

A. Applicant's Verification

I HEREBY CERTIFY THE STATEMENTS CONTAINED IN THIS APPLICATION ARE TRUE.

Name Eric H. Berger, Manager Date December 15, 2020
Signature  _____

B. Owner's Authorization

I HEREBY CERTIFY THAT I AM THE OWNER OF RECORD OF THE PROPERTY DESCRIBED HEREON AND THAT I CONCUR WITH THE DOCUMENTS PRESENTED TO THE PLANNING BOARD / ZONING BOARD OF ADJUSTMENT. I HEREBY AUTHORIZE THE APPLICANT TO SUBMIT THIS APPLICATION FOR DEVELOPMENT.

Name Eric H. Berger, Manager Date January 22, 2020
Signature  _____

Telephone & Fax Number: (732) 603-9100; (732) 321-9168

Narrative of Proposal
410 Main Street, Metuchen, NJ

Phoenix 410 Main Street, L.L.C., the owner of 410 Main Street, proposes ground level: (1) continued Main Street commercial use of 2,560 square feet; (2) convert rear of existing Main Street commercial space and adjacent parking lot into four small offices accessible from Station Place; and (3) add new commercial space facing Station Place. Phoenix 410 Main Street, L.L.C. proposes 15 apartments (one COAH 2BR, one COAH 3BR, four market rate 2BR and nine market rate 1BR) on the second, third and fourth floors with access solely from Station Place.

410 Main Street is 200' deep (about 30' wide for the first 100' from Main Street and 49' wide for the balance). To accommodate the existing sidewalk elevations, the proposed ground level elevations are proposed to be: (A) remain 99.17 FF in the existing Main Street commercial space; (B) 105 FF in the new offices and Station Place commercial space; and (C) 106 FF in the apartment lobby and common room. The proposed finished ceiling height for the entire ground level will be 114 FF, so that the ceiling height will vary from 14'10" in the Main Street commercial, to 9' in the offices and Station Place commercial, to 8' in the apartment lobby and common room. The second, third and fourth floors are all proposed to have 10' ceiling heights.

The existing Main Street façade is preserved and added to in a manner that compliments the Brass Lantern façade on Main Street, a classic brick design with columns and a large balcony with glass-pane doors. The second floor balcony is 4' below the top of the existing façade to provide privacy while seated but allow residents to look over onto Main Street. The Station Place façade compliments the existing 15 Station Place façade.

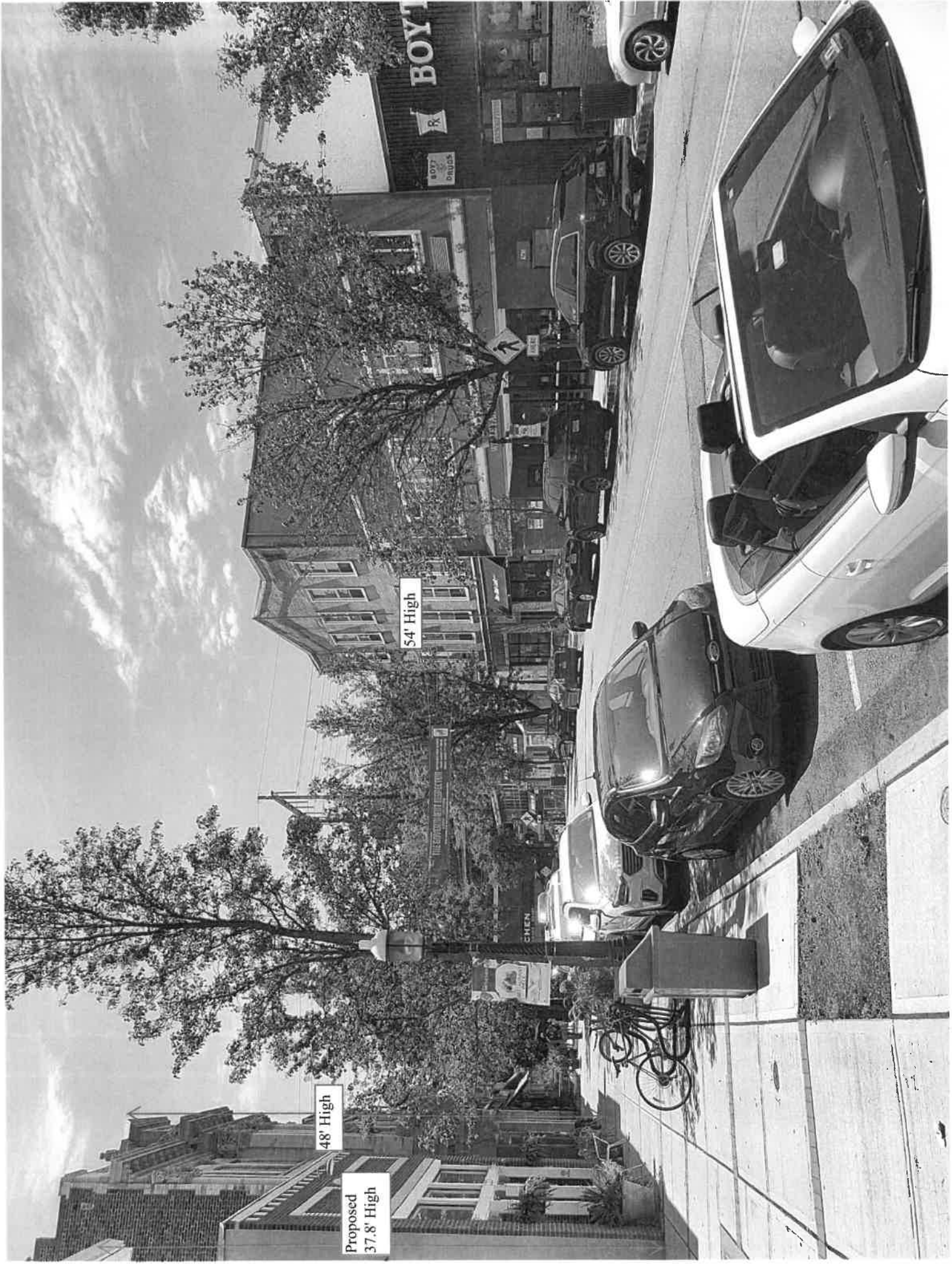
The fourth floor is set back 28' from Main Street and 25' from Station Place thereby minimizing its visual impact. At Main Street, the proposed façade is about 40.1' high, which is about 8' lower than the adjacent 406 Main Street. At Station Place, the proposed façade is about 35.7', which is lower than the façade at 15 Station Place. Robbins Hall just across Main Street is 54' high.

The proposed apartments are designed to successfully compete with the other Metuchen luxury apartments recently constructed. There will be an elevator, common roof deck and common room. Each proposed apartment unit has a balcony. There will be a set of ceiling-mounted bike racks for each bedroom, i.e. three racks for the 3BR unit. California Closets will be installed in every unit. Kitchens will have stainless steel appliances (refrigerator, stove, dishwasher, microwave), wood cabinets and granite countertops. MagicPak HVAC will be installed in each unit which do not require a condenser on the roof. Flooring will be hardwood or vinyl hardwood style flooring. There will be a washer and dryer in each unit.

Each apartment will have one parking spot in the Station Place parking lot across the street from the apartment entrance. In their leases, apartment tenants will be prohibited from parking in the adjacent private parking lots behind 406 Main Street and 412 Main Street as well as on Hillside Avenue/Pennsylvania Avenue between Main Street and Robins Place. The commercial units tend to utilize part time workers so no parking spots will be provided to them. Currently, the four apartments at 15 Station Place have two cars total, which would suggest that only eight spots will actually be needed for the proposed development. The 15 Station Place residents do not need a car as whatever they can't get within walking distance can be delivered to them including groceries, plus the train is steps away and Uber or taxi is available to drive them if needed. Fifteen spots will be purchased via the PILOP program.

Google Maps 15 Station Pl





54' High

48' High

Proposed
37.8' High

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THE SPANISH TRADING COMPANY

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