

200' OWNERS LIST

Block	Lot	Owner	Owner's Address	City	State	Zip
70	53	BOROUGH OF METUCHEN	500 MAIN ST.	Metuchen	NJ	08840
70	54	SHAKSHAM SAVER BISHAM	500 NEW DURHAM RD	Metuchen	NJ	08840
70	56	LIAN, GUO H & GAO, YU	577 MIDDLESEX AVE	Metuchen	NJ	08840
70	59	BRADSHAW, MARLA	500 NEW DURHAM RD	Metuchen	NJ	08840
70	61	MITCHELL, RYAN G & SVETLANA	1 ADAMS ST	Metuchen	NJ	08840
70	63	15 ADAMS STREET LLC	15 ADAMS STREET	Metuchen	NJ	07719
70	65	LIJIAN, HUIJIA	21 ADAMS ST	Metuchen	NJ	08840
70	68	VITAL MANAGEMENT & CONSULTING LLC	26 OLIVER ST - SUITE 300	Metuchen	NJ	08840
70	80	VITAL MANAGEMENT & CONSULTING LLC	26 OLIVER ST - SUITE 300	Metuchen	NJ	08840
70	86	VITAL MANAGEMENT & CONSULTING LLC	26 OLIVER ST - SUITE 300	Metuchen	NJ	08840
70	89	GUPTA, SURESH K & JASWAL, JAYAL	10 OLIVER STREET	Metuchen	NJ	08840
71	17	METUCHEN III LLC	4905 DEL BAY AVE, STE 300	Bethesda	MD	20814
72	33	KARAK KARSHIMA, LLC N M. PATIL	157 UNION AVE, ROUTE 28	Bridgewater	NJ	08807
72	36	LAGOMI, LLC	400 NEW DURHAM RD	Metuchen	NJ	08840
72	48	A&G RENOVATIONS LLC	22 SYLVAN AVE	Metuchen	NJ	08840
80	2	OHESA, CRISTINA	525 NEW DURHAM RD	Metuchen	NJ	08840
80	3	PHELAN, JOHN J & ELEANOR S	515 NEW DURHAM RD	Metuchen	NJ	08840
80	16	1601 CHANG, LING	7968 MIDDLESEX AVE	Metuchen	NJ	08840
80	16.02	KOPIC, MIECZYSLAW & JANINA	796A MIDDLESEX AVE.	Metuchen	NJ	08840
80	17	VMC PROPERTIES LLC	P.O. BOX 412	MT. FREEDOM	NJ	07920
81	17	SOMKOM LLC	7 GREENBRIER LN	Scotts Plains	NJ	07076
109	1	MIDDLESEX COUNTY	ADM BLDG JFK SQUARE	NEW BRUNSWICK	NJ	08901

GENERAL NOTES:

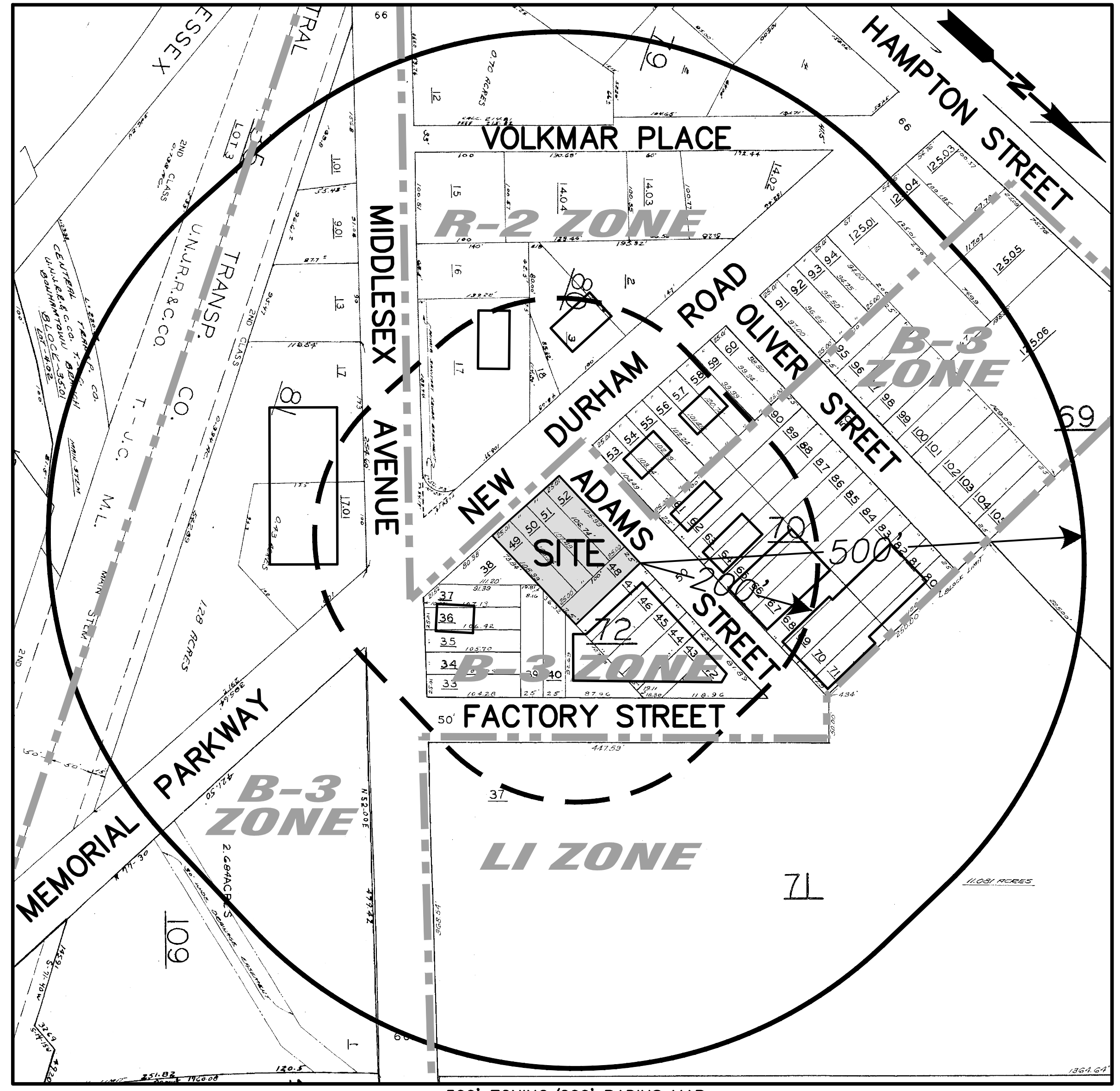
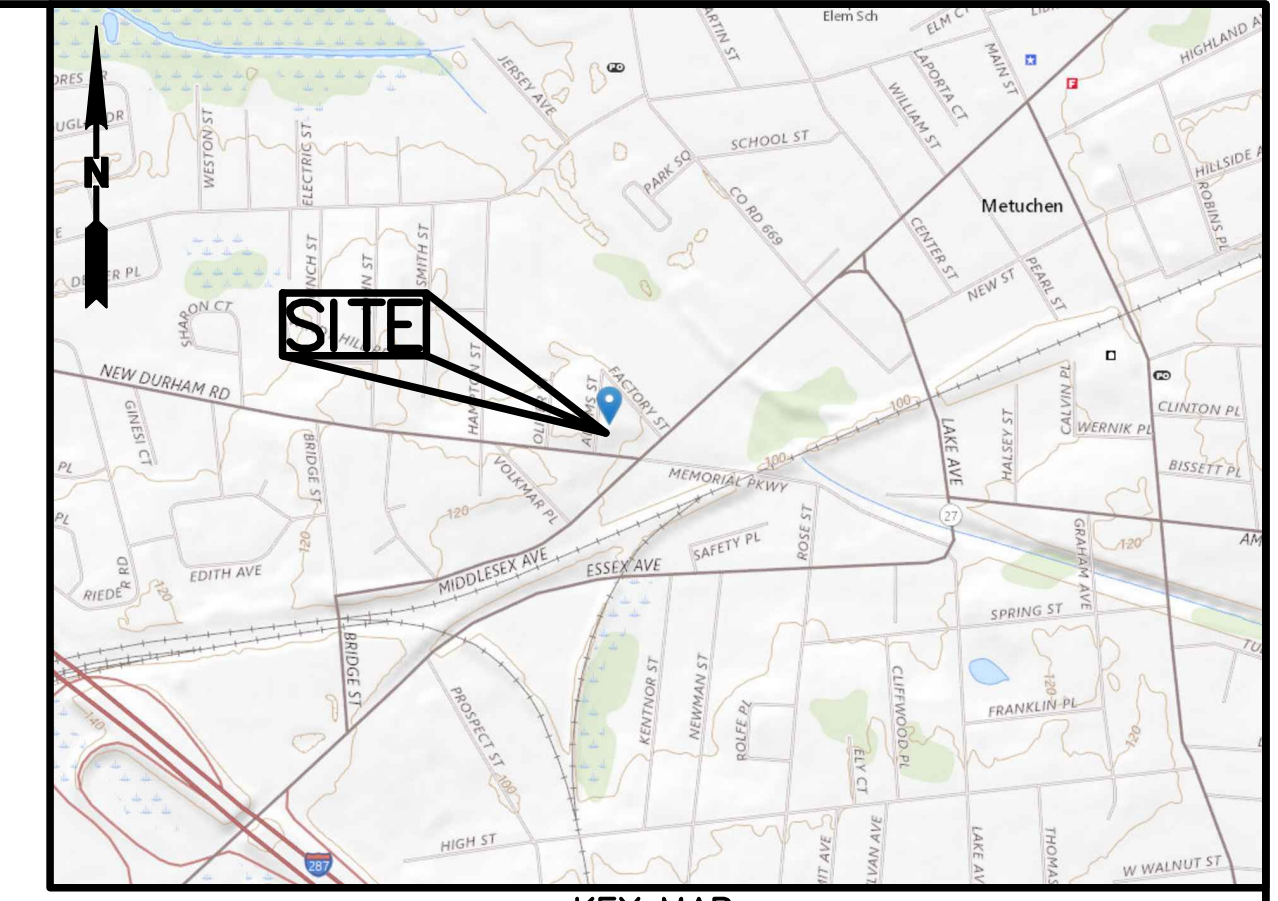
- THIS DRAWING REFERENCES A BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY:
EKA ASSOCIATES,
328 PARK AVENUE
SCOTCH PLAINS, NJ 07076
DATED 10-22-2020
- THIS PARCEL IS KNOWN AS LOTS 48, 49, 50, 51 & 52 IN BLOCK 72 AS SHOWN ON SHEET 17 OF THE TAX MAPS OF THE BOROUGH OF METUCHEN.
- AREA OF PARCEL = 13,249 S.F. OR 0.30 ACRES
- THIS PARCEL IS LOCATED ENTIRELY IN THE B-3 ZONE AS SHOWN ON THE ZONING MAP OF THE BOROUGH OF METUCHEN.
- THIS PARCEL MAY BE SUBJECT TO UNDERGROUND UTILITIES AND/OR EASEMENTS WHICH ARE NOT SHOWN.
- IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL AND MAY HAVE BEEN ALTERED.
- NO DETERMINATION WAS MADE AS TO THE PRESENCE AND/OR NONEXISTENCE OF TOXIC WASTES. THE CLIENT SHOULD PURSUE THESE MATTERS AS ITEMS SEPARATE AND APART FROM THIS PLAN.
- DATUM INFORMATION: ELEVATIONS SHOWN HEREON ARE BASED UPON AN ASSUMED DATUM. LOCAL BENCHMARK IS THE RIM OF A SANITARY SEWER MANHOLE LOCATED IN THE INTERSECTION OF NEW DURHAM ROAD AND ADAMS STREET. RIM ELEVATION = 100.00 (ASSUMED)
- DO NOT SCALE DRAWINGS FOR LOCATIONS OF ADJACENT STRUCTURES AND SURROUNDING PHYSICAL CONDITIONS. THESE ITEMS MAY BE SCHEMATIC ONLY EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
- THIS IS A SITE PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON IS NOT A SURVEY.
- THIS PLAN HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS PLAN SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS OR DIGITAL STAKEOUT UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS MARKED "ISSUED FOR CONSTRUCTION AND DIGITAL STAKEOUT".
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY AND COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL UTILITY INFORMATION TO HIS SATISFACTION PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL PERFORM TEST PITS WHERE EXISTING UTILITIES ARE TO BE CROSSED. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS MAY BE REQUIRED TO AVOID CONFLICTS.
- CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER FROM THOSE SHOWN HEREON.
- ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.
- ALL MATERIAL, WORKMANSHIP AND CONSTRUCTION FOR SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
- NUDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AS CURRENTLY AMENDED.
- CURRENT PREVAILING MUNICIPAL AND/OR COUNTY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- ANY EXISTING IMPERVIOUS SURFACES NOT TO REMAIN SHALL BE RESTORED WITH A MINIMUM OF 5" TOPSOIL SEED AND MULCH
- EXISTING WATER, GAS & SEWER CONNECTIONS TO BE UTILIZED IF POSSIBLE. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY.
- PARCEL IS LOCATED IN ZONE X (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN) AS PER FIRM MAP No. 340230061F DATED JULY 6, 2010.
- NO WETLANDS EXIST ON SITE BASED ON THE NJDEP ONLINE NJ-GEOWEB SERVICE.
- PRIOR TO CONSTRUCTION OF THE DRAINAGE SYSTEM TEST PITS SHALL BE PERFORMED TO DETERMINE THE SEASONAL HIGH WATER TABLE ELEVATION.
- TOTAL EXISTING ON-SITE IMPERVIOUS COVERAGE = 940 S.F.
TOTAL PROPOSED ON-SITE IMPERVIOUS COVERAGE = 8,612 S.F.
TOTAL NET INCREASE IN ON-SITE IMPERVIOUS COVERAGE = 7,672 S.F.

PRELIMINARY & FINAL MAJOR SITE PLAN

TAX LOTS 48, 49, 50, 51 & 52 BLOCK 72

434 NEW DURHAM ROAD

BOROUGH OF METUCHEN, MIDDLESEX COUNTY, NEW JERSEY



OWNER/APPLICANT
A & G RENOVATIONS, LLC
22 SYLVAN AVENUE
METUCHEN, NJ 08840

I HEREBY CERTIFY THAT I AM THE OWNER/APPLICANT OF TITLE OF TAX LOTS 48, 49, 50, 51 & 52 BLOCK 72 AND I APPROVE THE FILING OF THIS PLAN WITH THE PLANNING BOARD OF THE BOROUGH OF METUCHEN

(SIGNATURE) _____ DATE _____

APPROVED BY THE ZONING BOARD OF ADJUSTMENT
PRELIMINARY/FINAL

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

ENGINEER _____ DATE _____

SCHEDULE OF GENERAL REQUIREMENTS			
ZONE B-3 (OFFICE BUSINESS)			
EXISTING USE: SINGLE FAMILY DWELLING (NOT A PERMITTED USE)			
PROPOSED USE: APARTMENT BUILDING WITH APARTMENTS ON THE FIRST FLOOR (NOT A PERMITTED USE)			
REGULATION	REQUIREMENT	EXISTING	PROPOSED
MIN. LOT AREA	10,000 S.F.	13,249 S.F.	13,249 S.F.
MIN. LOT WIDTH	100'	100.04'	100.04'
MIN. LOT DEPTH	100'	132.43'	132.43'
MIN. FRONT YARD (NEW DURHAM ROAD)	35'	8.07'	31.74' (V)
MIN. FRONT YARD (ADAMS STREET)	35'	3.69'	14.19' (V)
MIN. SIDE YARD	10'	77.84'	10'
MIN. TOTAL- BOTH SIDE YARDS	40'	81.53'	24.19' (V)
MIN. REAR YARD	25'	95.18'	50.59'
MAX. BUILDING COVERAGE	40%	3.9%	23.6%
MAX. LOT COVERAGE	70%	7.1%	62.1%
MIN. NUMBER OF STORIES	2	2	3
MAX. NUMBER OF STORIES	3	2	3
MAX. BUILDING HEIGHT	35'	-	44.36' (V)

* - DENOTES EXISTING VIOLATION
(V) - DENOTES VARIANCE REQUIRED

TREE REMOVAL & REPLACEMENT	
REMOVAL/REPLACEMENT NOT REQUIRED: 10% OF TOTAL ON-SITE TREES WITH A CALIPER EQUAL TO OR GREATER THAN 10 INCHES CAN BE REMOVED WITHOUT REPLACEMENT.	
TOTAL EXISTING ON-SITE TREES WITH A CALIPER EQUAL TO OR GREATER THAN 10 INCHES = 4 TREES	
4 TREES X 10% = 0.4 TREES	
REMOVAL/REPLACEMENT REQUIREMENTS:	
DECIDUOUS TREES:	
LESS THAN 6" - 22 TREES REMOVED = 22 REPLACEMENT TREES REQUIRED	
BETWEEN 6" & 12" - TWO TREES REMOVED = 6 REPLACEMENT TREES REQUIRED	
BETWEEN 12" & 18" - ONE TREE REMOVED = 4 REPLACEMENT TREES REQUIRED	
TOTAL REPLACEMENT DECIDUOUS TREES REQUIRED = 32 TREES	
PROPOSED REPLACEMENT DECIDUOUS TREES = 11 DECIDUOUS TREES 3" CAL.	
NOTES:	
1. THIS CALCULATION EXCLUDES 14 INVASIVE TREES AND 7 DYING/DAMAGED TREES	

PARKING REQUIREMENTS	
REQUIREMENT:	
R.S.I.S. MID-RISE APARTMENTS (USE GARDEN APARTMENTS)	
ONE BEDROOM = 1.8 SPACES	
TWO BEDROOM = 2.0 SPACES	
THREE BEDROOM = 2.1 SPACES	
PROPOSED:	
R.S.I.S. MID-RISE APARTMENTS	
6 ONE BEDROOM UNITS = 10.8 SPACES	
1 TWO BEDROOM UNIT = 2 SPACES	
1 THREE BEDROOM UNIT = 2.1 SPACES	
REQUIRED = 14.9 SPACES (USE 15 SPACES)	
PROPOSED SPACES = 13 SPACES (INCLUDES 1 HANDICAPPED SPACE)	
(VARIANCE REQUIRED)	

ADDITIONAL ORDINANCE RELIEF

SECTION 110-130.C - PARKING LOTS SHALL BE PROHIBITED IN ANY FRONT YARD SETBACK. PROPOSED PARKING LOT IS WITHIN THE REQUIRED FRONT YARD SETBACK AREA ALONG ADAMS STREET. (EXCEPTION REQUIRED)

SECTION 110-130.F - MINIMUM RESIDENTIAL BUILDING SETBACK FROM DRIVEWAY AND PARKING AREAS. THE PROPOSED DEVELOPMENT DOES NOT PROVIDE THE MINIMUM SETBACKS. (EXCEPTION REQUIRED)

SECTION 110-132.M - MINIMUM DWELLING UNIT PRIVATE OPEN SPACE. THE PROPOSED DEVELOPMENT DOES NOT PROVIDE THE MINIMUM PRIVATE OPEN SPACE. (EXCEPTION REQUIRED)

SECTION 110-132.S - TYPE OF LIGHT SOURCE SHALL BE LOW-WATTAGE INCANDESCENT LAMPS ALONG ALL SIDEWALKS, WALKWAYS, COURTYARDS, PLAZAS, & PARKING LOTS. THE PROPOSED LIGHTS ARE 3000K LED. (EXCEPTION REQUIRED)

SHEET TITLE	ISSUED	REVISED
1 COVER SHEET	11/18/2020	5/28/2021
2 SITE PLAN	11/18/2020	5/28/2021
3 GRADING, DRAINAGE & UTILITY PLAN	11/18/2020	5/28/2021
4 LIGHTING & LANDSCAPE PLAN	11/18/2020	5/28/2021
5 SOIL EROSION AND SEDIMENT CONTROL PLAN	11/18/2020	5/28/2021
6 SOIL EROSION AND SEDIMENT CONTROL NOTES & DETAILS	11/18/2020	5/28/2021
7 CONSTRUCTION DETAILS 1	11/18/2020	5/28/2021
8 CONSTRUCTION DETAILS 2	11/18/2020	5/28/2021
1 OF 1 BOUNDARY AND TOPOGRAPHIC SURVEY	10/22/2020	5/28/2021

COVER SHEET
PRELIMINARY & FINAL MAJOR SITE PLAN
TAX LOTS 48, 49, 50, 51 & 52 BLOCK 72
BOROUGH OF METUCHEN, MIDDLESEX COUNTY, NEW JERSEY

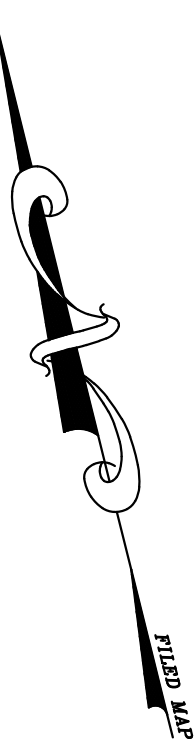
EKA ASSOCIATES, P.A.

Engineers • Surveyors • Planners
328 Park Avenue, Scotch Plains, N.J. 07076
908-322-2030

REVISIONS:
5/28/2021 - REVISED PER BOROUGH COMMENTS

Thomas J. Quinn
THOMAS J. QUINN, P.E., C.M.E.
PROFESSIONAL ENGINEER
N.J. LICENSE NO. 246ED0407200

Job No. 847814 | Date 11/18/2020 | Scale AS SHOWN | Drawn MW | Map No. FILE | Sheet 1 of 8



PROPOSED 4" WIDE WHITE PAINTED PAVEMENT MARKINGS (TYP.)

PROPOSED R1-1 "STOP" SIGN

PROPOSED 12" WIDE WHITE PAINTED STOP BAR

PROPOSED DEPRESSED CONCRETE CURB

RECONSTRUCT CONCRETE GUTTER AS NEEDED (TYP.)

PROPOSED PAVEMENT REPAIR (TYP.)

EXISTING TREE TO BE REMOVED (TYP.)

EXISTING DWELLING TO BE REMOVED (TYP.)

PROPOSED CONCRETE SIDEWALK

ADAMS STREET
(50' RIGHT OF WAY)

PROPOSED "NO PARKING" SIGN

PROPOSED GRANITE BLOCK CURB (TYP.)

PROPOSED RETAINING WALL (TYP.)

PROPOSED BUILDING COLUMN (TYP.)

PROPOSED 10'x10' TRASH ENCLOSURE TO MATCH BUILDING ARCHITECTURE

PROPOSED BICYCLE PARKING RACKS (TYP.)

PROPOSED FLUSH CURB

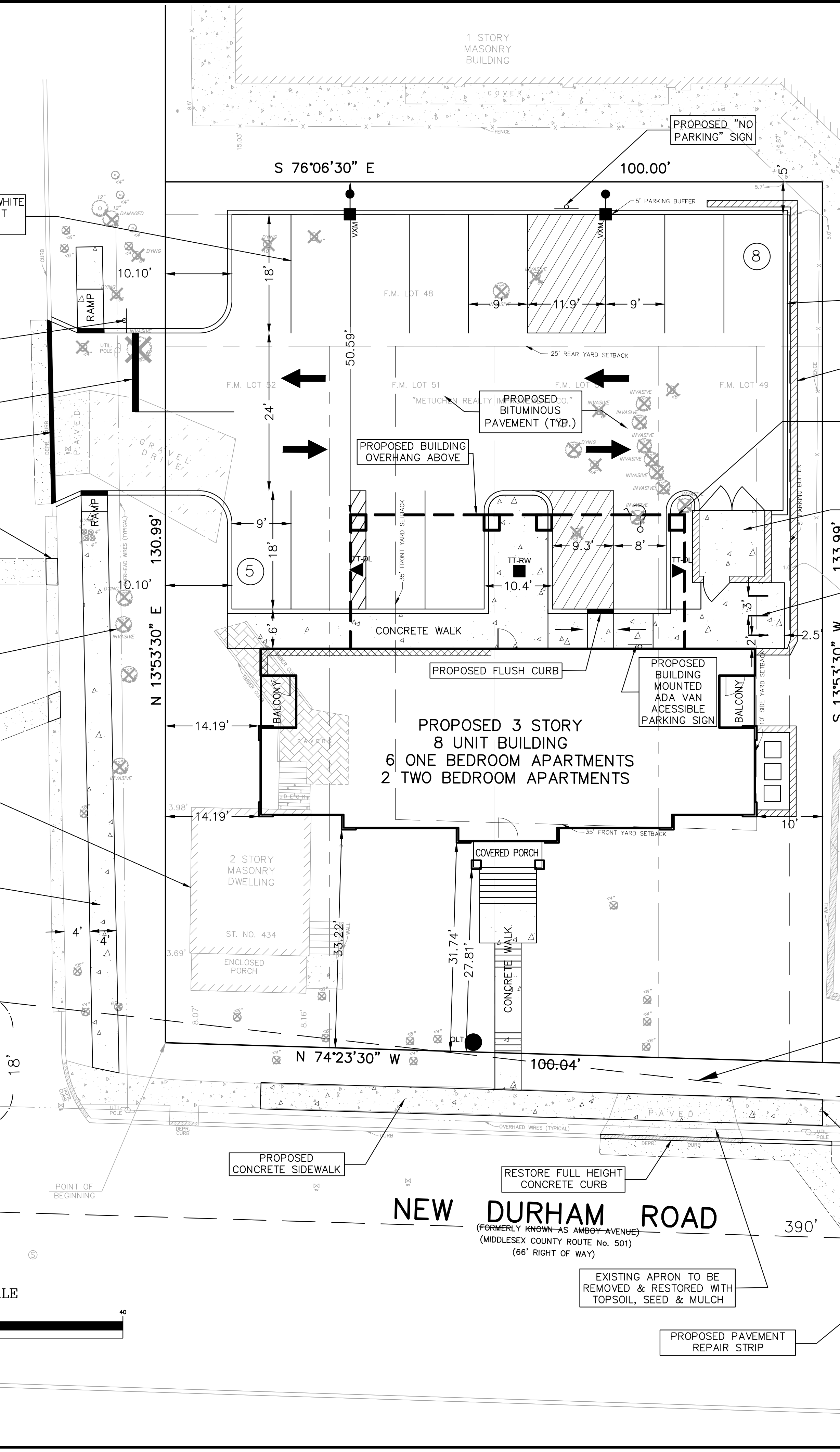
PROPOSED BUILDING MOUNTED ADA VAN ACCESSIBLE PARKING SIGN

PROPOSED SIDEWALK TO MEET AND MATCH EXISTING (TYP.)

RESTORE FULL HEIGHT CONCRETE CURB

EXISTING APRON TO BE REMOVED & RESTORED WITH TOPSOIL, SEED & MULCH

PROPOSED PAVEMENT REPAIR STRIP



SCHEDULE OF GENERAL REQUIREMENTS

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PARKING REQUIREMENTS

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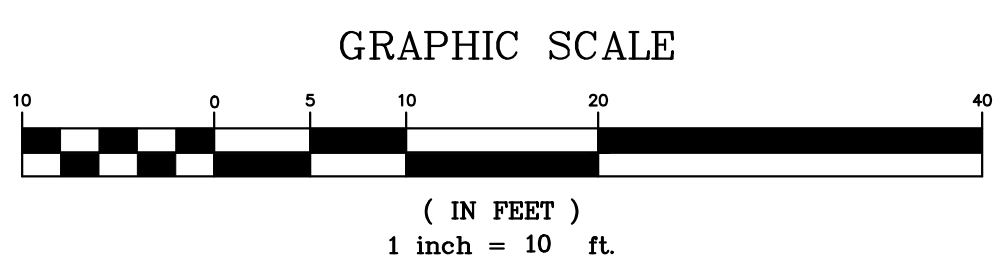
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SCOTCH PLAINS, NJ 07076
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LEGEND

- - -	EXISTING SIDEWALK ELEVATION		PROPOSED CONTOUR
- - -	EXISTING GROUND ELEVATION		PROPOSED SPOT ELEVATION
- - -	EXISTING CENTERLINE ELEVATION		EXISTING PAVEMENT ELEVATION
- - -	EXISTING TOP OF CURB ELEVATION		EXISTING GRAVEL ELEVATION
- - -	EXISTING BOTTOM OF CURB ELEVATION		EXISTING BUILDING ELEVATION
- - -	EXISTING DEPRESSED CURB		EXISTING CONCRETE ELEVATION
	EXISTING SANITARY MANHOLE		EXISTING TOP OF GRATE ELEVATION
	EXISTING STORM MANHOLE		EXISTING INVERT
	EXISTING UTILITY POLE		EXISTING SPOT ELEVATION
	EXISTING WATER VALVE		EXISTING EDGE OF PAVEMENT ELEVATION
	EXISTING TREE AND SIZE		EXISTING CONTOUR
	EXISTING TREES TO BE REMOVED		



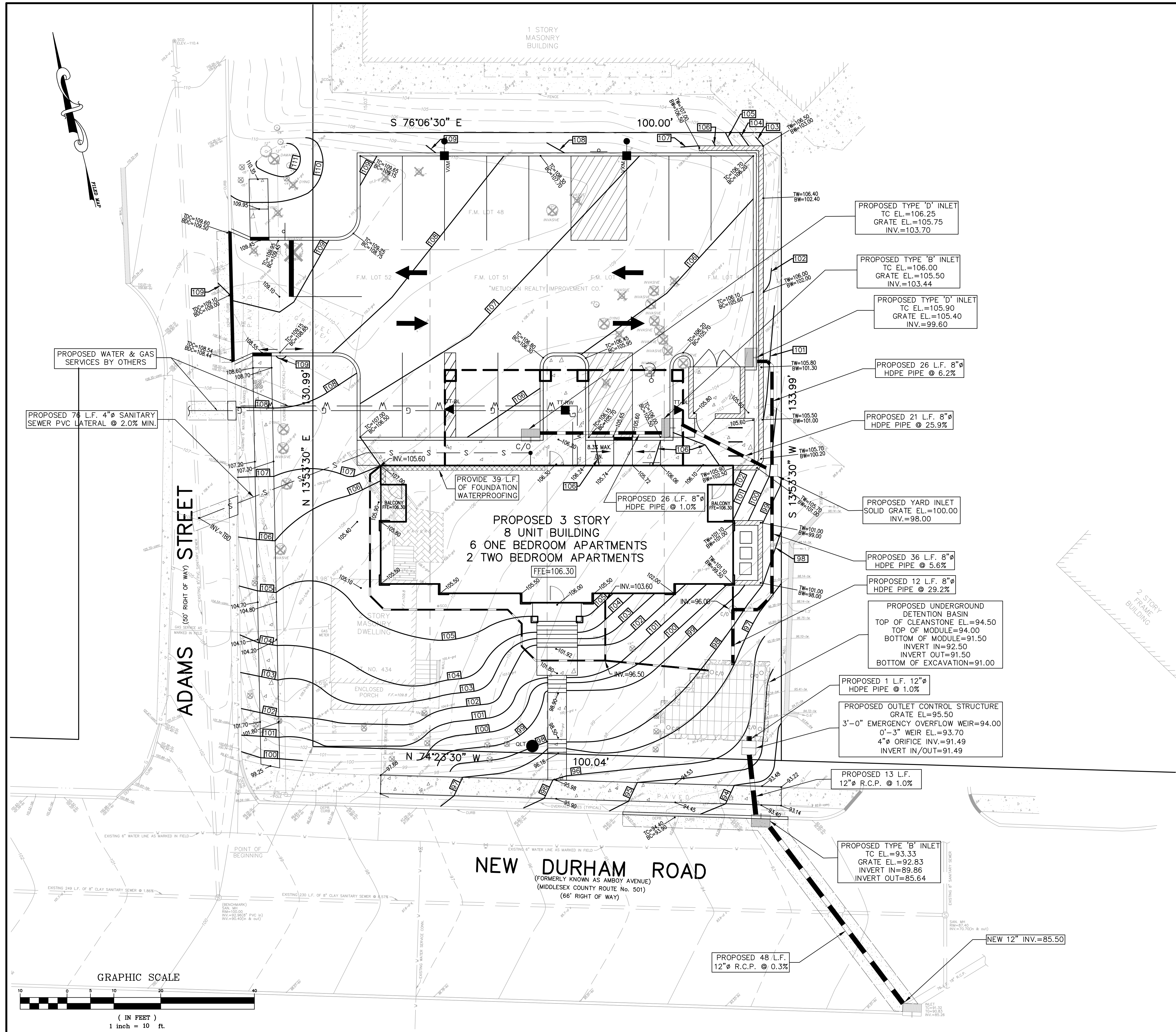
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THOMAS J. QUINN, P.E., C.M.E.
PROFESSIONAL ENGINEER
N.J. LICENSE NO. 24GE04107200

Job No. 847814 Date 11/18/2020 Scale 1"=10' Drawn MW Map No. FILE Sheet 2 of 8

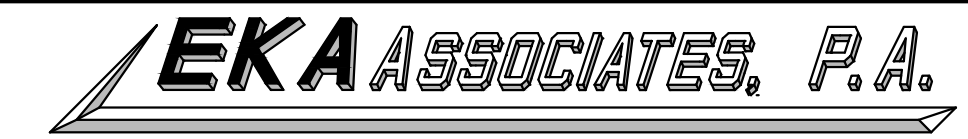


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 - CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER FROM THOSE SHOWN HEREON.
 - ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.
 - ALL MATERIAL, WORKMANSHIP AND CONSTRUCTION FOR SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - NJDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AS CURRENTLY AMENDED.
 - CURRENT PREVAILING MUNICIPAL AND/OR COUNTY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - ANY EXISTING IMPERVIOUS SURFACES NOT TO REMAIN SHALL BE RESTORED WITH A MINIMUM OF 5" TOPSOIL SEED AND MULCH
 - EXISTING WATER, GAS & SEWER CONNECTIONS TO BE UTILIZED IF POSSIBLE. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY.
 - PARCEL IS LOCATED IN ZONE X (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAN) AS PER FIRM MAP No. 3402300061F DATED JULY 6, 2010.
 - NO WETLANDS EXIST ON SITE BASED ON THE NJDEP ONLINE NJ-GEOWEB SERVICE.
 - PRIOR TO CONSTRUCTION OF THE DRAINAGE SYSTEM TEST PITS SHALL BE PERFORMED TO DETERMINE THE SEASONAL HIGH WATER TABLE ELEVATION.
 - TOTAL EXISTING ON-SITE IMPERVIOUS COVERAGE = 940 S.F.
TOTAL PROPOSED ON-SITE IMPERVIOUS COVERAGE = 8,612 S.F.
TOTAL NET INCREASE IN ON-SITE IMPERVIOUS COVERAGE = 7,672 S.F.

LEGEND

- - -	EXISTING SIDEWALK ELEVATION		PROPOSED CONTOUR
- - -	EXISTING GROUND ELEVATION		PROPOSED SPOT ELEVATION
- - -	EXISTING CENTERLINE ELEVATION		EXISTING PAVEMENT ELEVATION
- - -	EXISTING TOP OF CURB ELEVATION		EXISTING GRAVEL ELEVATION
- - -	EXISTING BOTTOM OF CURB ELEVATION		EXISTING BUILDING ELEVATION
- - -	EXISTING DEPRESSED CURB		EXISTING CONCRETE ELEVATION
	EXISTING SANITARY MANHOLE		EXISTING TOP OF GRATE ELEVATION
	EXISTING STORM MANHOLE		EXISTING INVERT
	EXISTING UTILITY POLE		EXISTING SPOT ELEVATION
	EXISTING WATER VALVE		EXISTING EDGE OF PAVEMENT ELEVATION
	EXISTING TREE AND SIZE		EXISTING CONTOUR
	EXISTING TREES TO BE REMOVED		

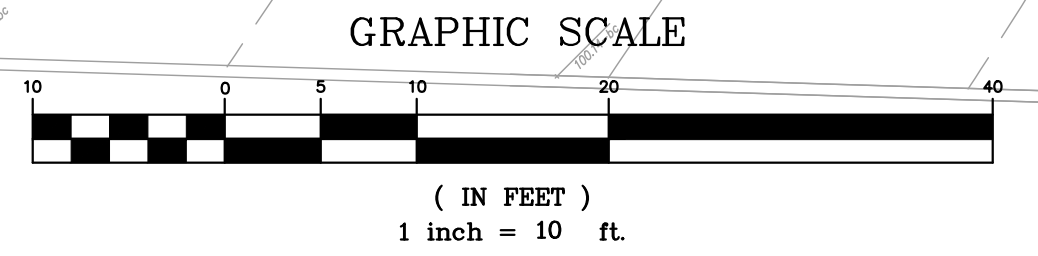
**GRADING, DRAINAGE & UTILITY PLAN
PRELIMINARY & FINAL MAJOR SITE PLAN
TAX LOTS 48, 49, 50, 51 & 52 BLOCK 72
BOROUGH OF METUCHEN, MIDDLESEX COUNTY, NEW JERSEY**

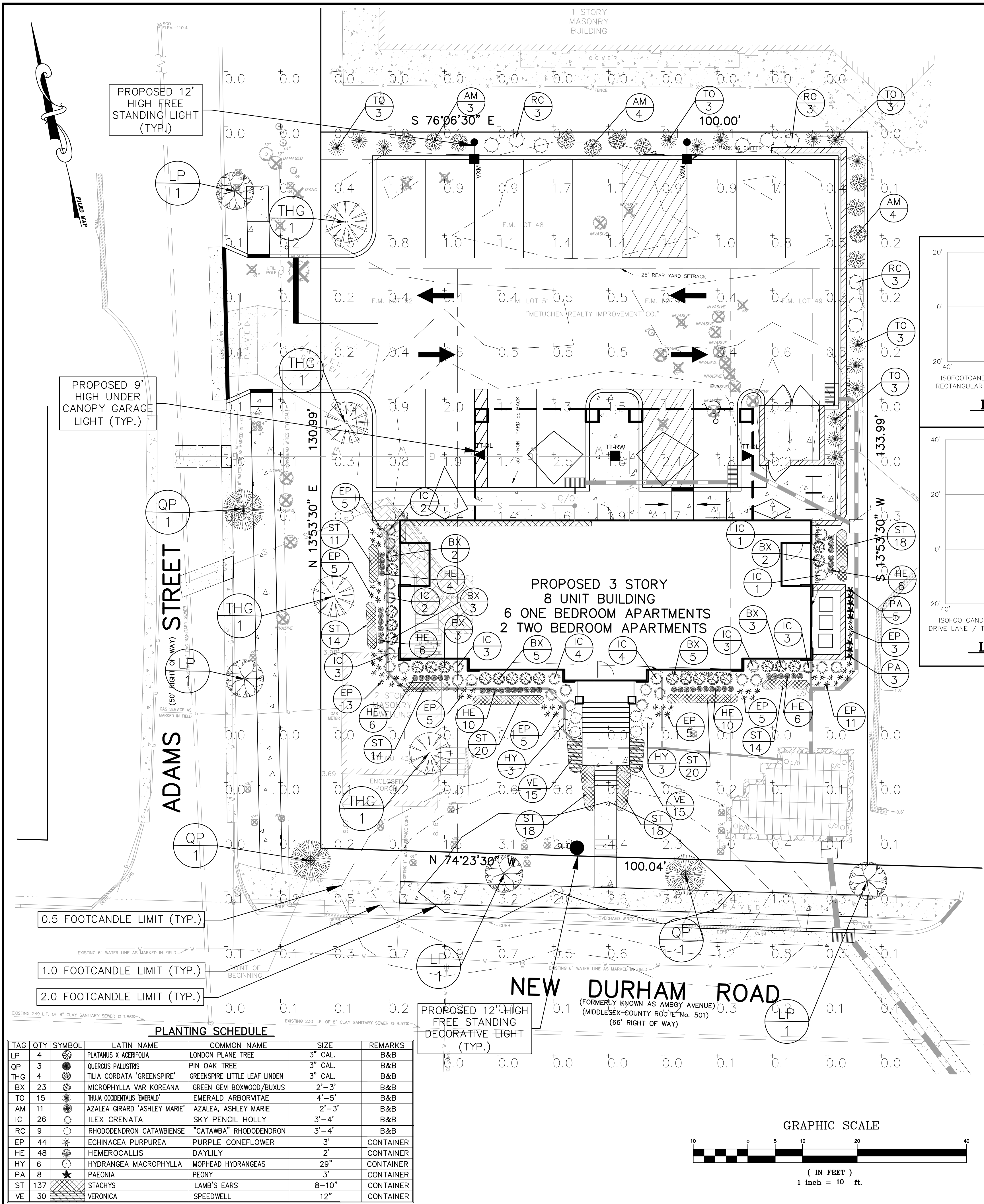


Engineers • Surveyors • Planners
328 Park Avenue, Scotch Plains, N.J. 07076
908-322-2030

REVISIONS:
5/28/2021 - REVISED PER BOROUGH COMMENTS

THOMAS J. QUINN, P.E., C.M.E.
PROFESSIONAL ENGINEER
N.J. LICENSE NO. 24GED407200



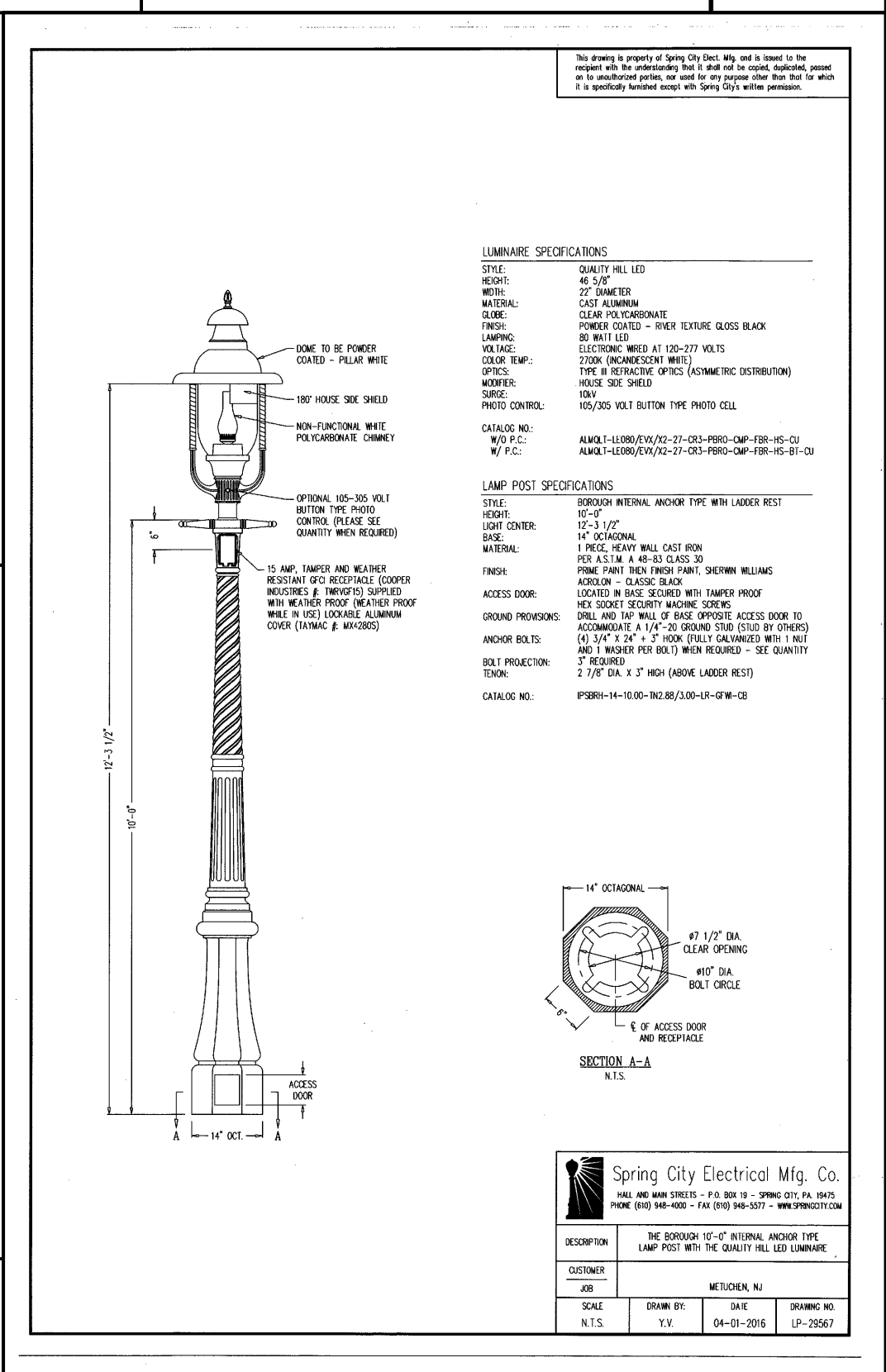
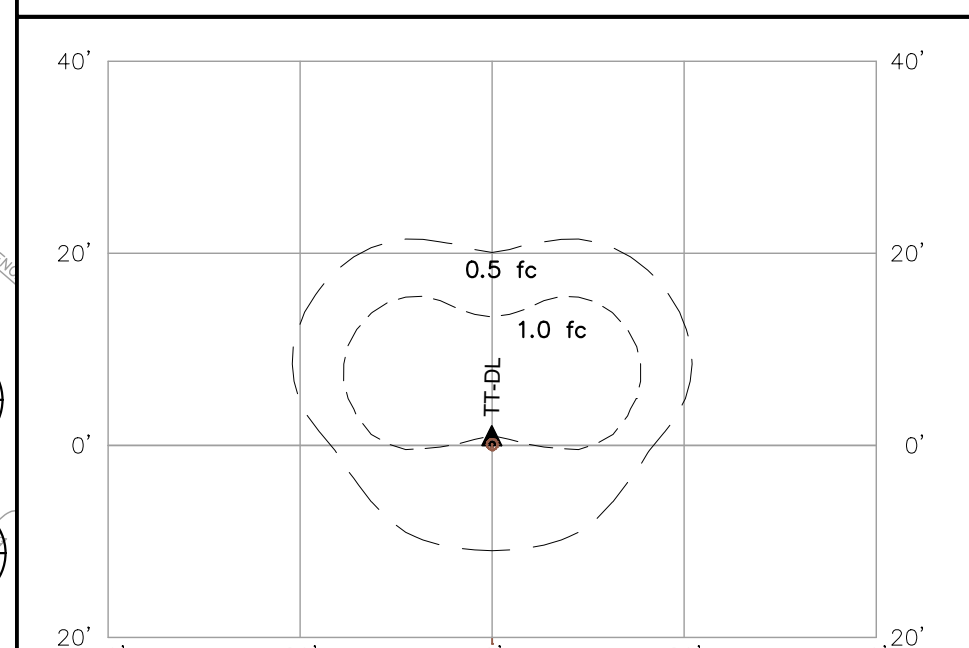
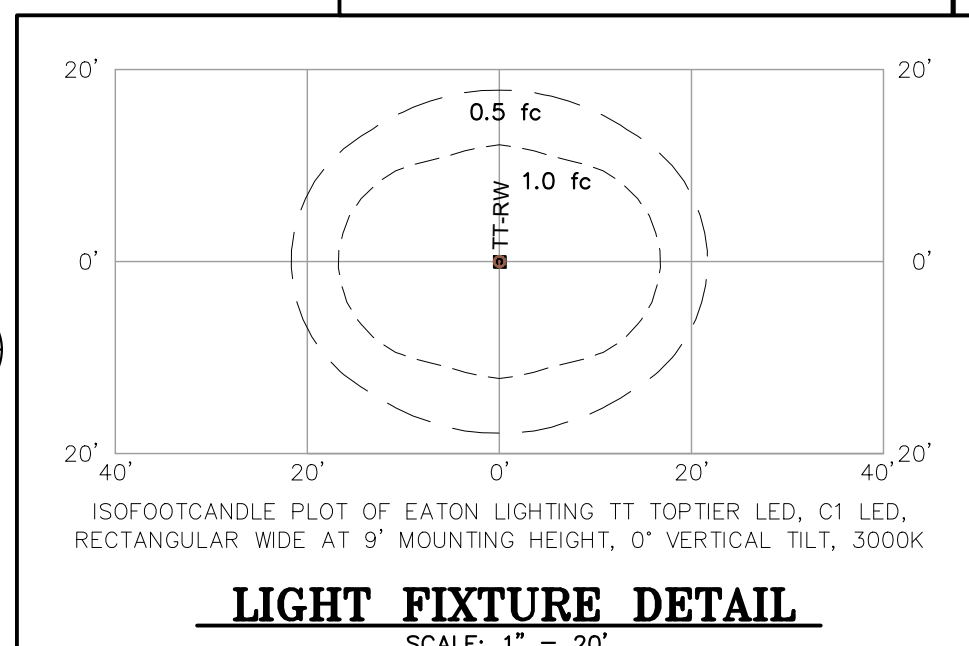
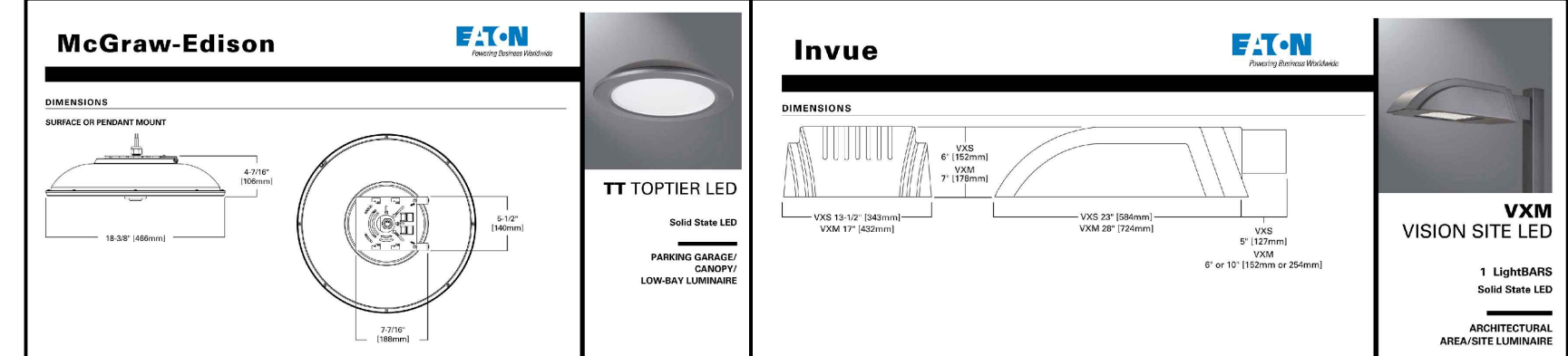


CALCULATION SCHEDULE

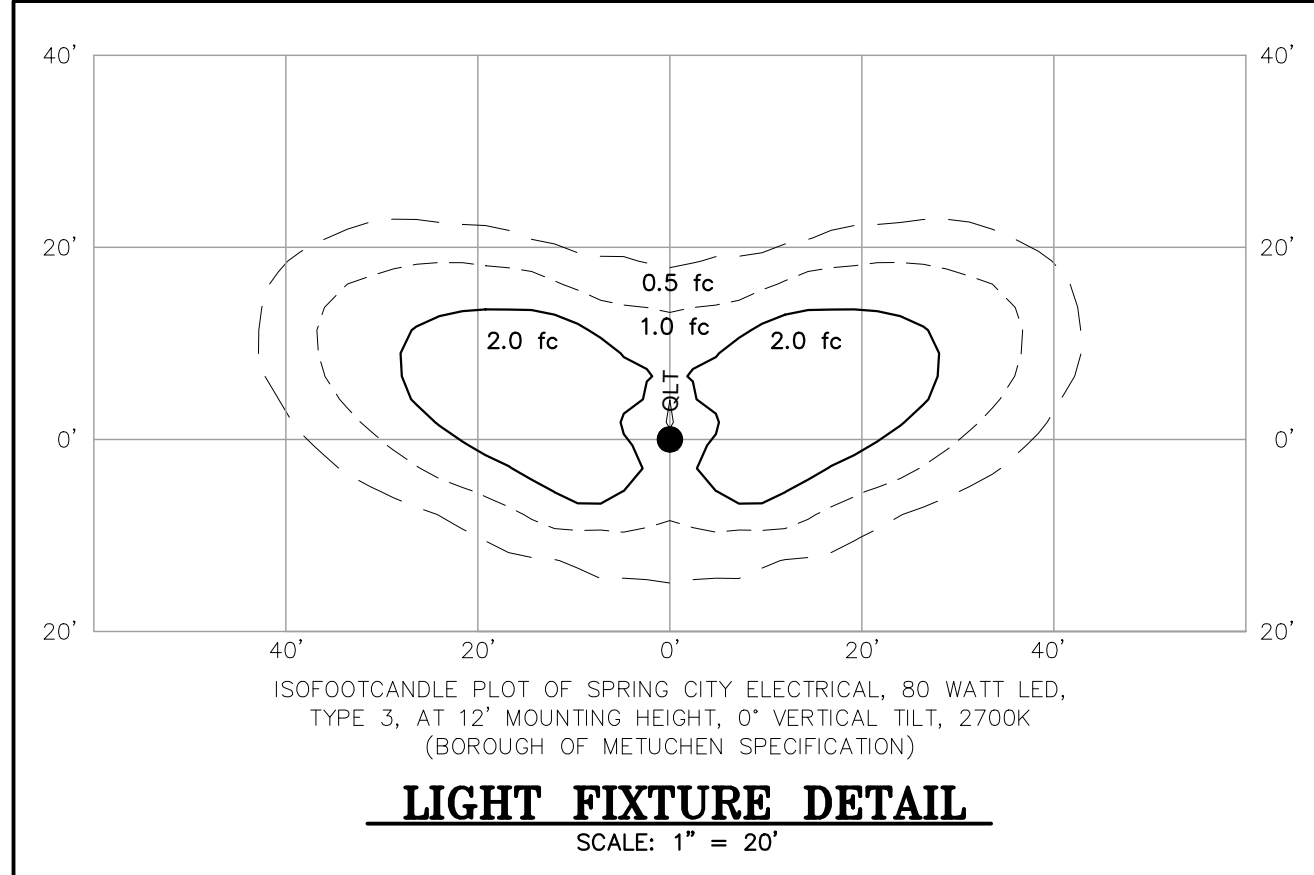
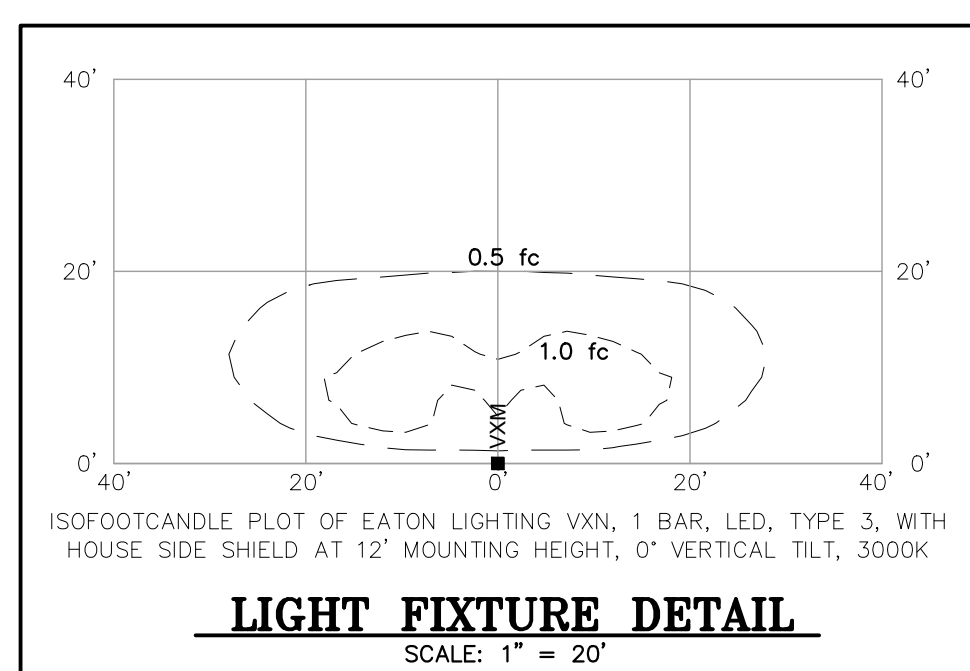
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Max/Avg
PARKING LOT	Illuminance	Fc	0.98	2.5	0.2	4.90	12.50	2.55

PROPOSED LUMINAIRE SCHEDULE

Symbol	Qty	Label	Arrangement	Tilt	Height	LLF	Description
TT-DL	2	TT-CI-LED-EI-DL-8030	SINGLE	0°	9'	0.76	EATON LIGHTING TT TOPIER LED, CI LED, DRIVE LANE / TYPE 4, 3000K
TT-RW	1	TT-CI-LED-EI-RW-8030	SINGLE	0°	9'	0.76	EATON LIGHTING TT TOPIER LED, CI LED, RECTANGULAR WIDE, 3000K
QLT	1	QLT-LED80-262-27-083-18R	SINGLE	0°	12'	0.76	SPRING CITY ELECTRICAL, 80 WATT LED, TYPE 3, 2700K
VXM	2	VXM-E01-LED-EI-SL-3SS-7	SINGLE	0°	12'	0.76	EATON LIGHTING VAN 1 BAR, LED, TYPE 3, WITH HOUSE SIDE SHIELD, 3000K



- GENERAL NOTES:**
- THIS DRAWING REFERENCES A BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY: EKA ASSOCIATES, 328 PARK AVENUE, SCOTCH PLAINS, NJ 07076, DATED 10-22-2020
 - THIS PARCEL IS KNOWN AS LOTS 48, 49, 50, 51 & 52 IN BLOCK 72 AS SHOWN ON SHEET 17 OF THE TAX MAPS OF THE BOROUGH OF METUCHEN.
 - AREA OF PARCEL = 13,249 S.F. OR 0.30 ACRES
 - THIS PARCEL IS LOCATED ENTIRELY IN THE B-3 ZONE AS SHOWN ON THE ZONING MAP OF THE BOROUGH OF METUCHEN.
 - THIS PARCEL MAY BE SUBJECT TO UNDERGROUND UTILITIES AND/OR EASEMENTS WHICH ARE NOT SHOWN.
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TOTAL NET INCREASE IN ON-SITE IMPERVIOUS COVERAGE = 7,672 S.F.



LEGEND

- - -	EXISTING SIDEWALK ELEVATION	168	PROPOSED CONTOUR
- - -	EXISTING GROUND ELEVATION	168	PROPOSED SPOT ELEVATION
- - -	EXISTING CENTERLINE ELEVATION	- - -	EXISTING PAVEMENT ELEVATION
- - -	EXISTING TOP OF CURB ELEVATION	- - -	EXISTING GRAVEL ELEVATION
- - -	EXISTING BOTTOM OF CURB ELEVATION	- - -	EXISTING BUILDING ELEVATION
- - -	EXISTING DEPRESSED CURB	- - -	EXISTING CONCRETE ELEVATION
⊙	EXISTING SANITARY MANHOLE	TO	EXISTING TOP OF GRATE ELEVATION
⊙	EXISTING STORM MANHOLE	INV.	EXISTING INVERT
⊙	EXISTING UTILITY POLE	- - -	EXISTING SPOT ELEVATION
⊙	EXISTING WATER VALVE	- - -	EXISTING EDGE OF PAVEMENT ELEVATION
⊙	EXISTING TREE AND SIZE	- - -	EXISTING CONTOUR
⊙	EXISTING TREES TO BE REMOVED		

**LIGHTING & LANDSCAPE PLAN
PRELIMINARY & FINAL MAJOR SITE PLAN
TAX LOTS 48, 49, 50, 51 & 52 BLOCK 72
BOROUGH OF METUCHEN, MIDDLESEX COUNTY, NEW JERSEY**

EKA ASSOCIATES, P.A.

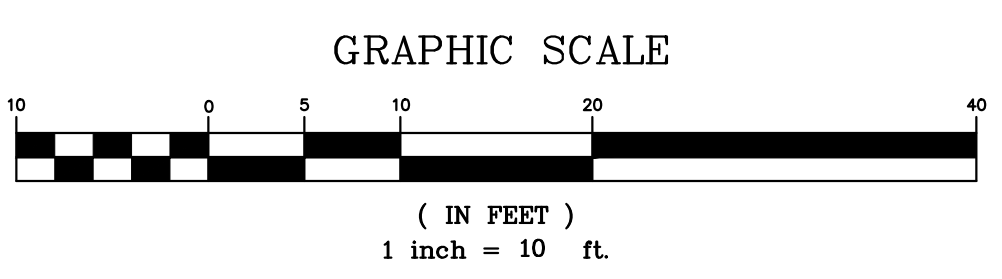
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908-322-2030

REVISIONS:
5/28/2021 - REVISED PER BOROUGH COMMENTS

Thomas J. Quinn
THOMAS J. QUINN, P.E., C.M.E.
PROFESSIONAL ENGINEER
N.J. LICENSE NO. 24GE04107200

PLANTING SCHEDULE

TAG	QTY	SYMBOL	LATIN NAME	COMMON NAME	SIZE	REMARKS
LP	4	⊙	PLATANUS X ACERIFOLIA	LONDON PLANE TREE	3" CAL.	B&B
QP	3	⊙	QUERCUS PALUSTRIS	PIN OAK TREE	3" CAL.	B&B
THG	4	⊙	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLE LEAF LINDEN	3" CAL.	B&B
BX	23	⊙	MICROPHYLLA VAR KOREANA	GREEN GEM BOXWOOD/BUXUS	2"-3"	B&B
TO	15	⊙	THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	4"-5"	B&B
AM	11	⊙	AZALEA GRARD 'ASHLEY MARIE'	AZALEA, ASHLEY MARIE	2"-3"	B&B
IC	26	⊙	ILEX CRENATA	SKY PENCIL HOLLY	3"-4"	B&B
RC	9	⊙	RHODODENDRON CATAMBENSE	'CATAMBA' RHODODENDRON	3"-4"	B&B
EP	44	⊙	ECHINACEA PURPUREA	PURPLE CONEFLOWER	3"	CONTAINER
HE	48	⊙	HEMEROCALLIS	DAYLILY	2"	CONTAINER
HY	6	⊙	HYDRANGEA MACROPHYLLA	MOPHEAD HYDRANGEAS	29"	CONTAINER
PA	8	⊙	PAEONIA	PEONY	3"	CONTAINER
ST	137	⊙	STACHYS	LAMB'S EARS	8-10"	CONTAINER
VE	30	⊙	VERONICA	SPEEDWELL	12"	CONTAINER



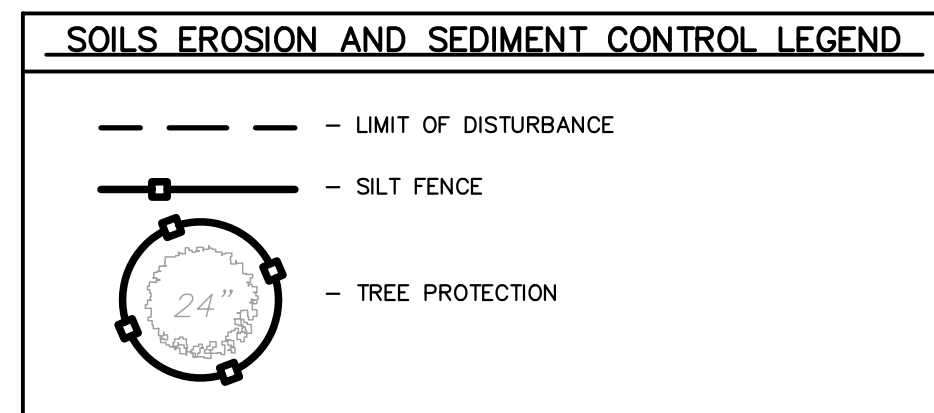
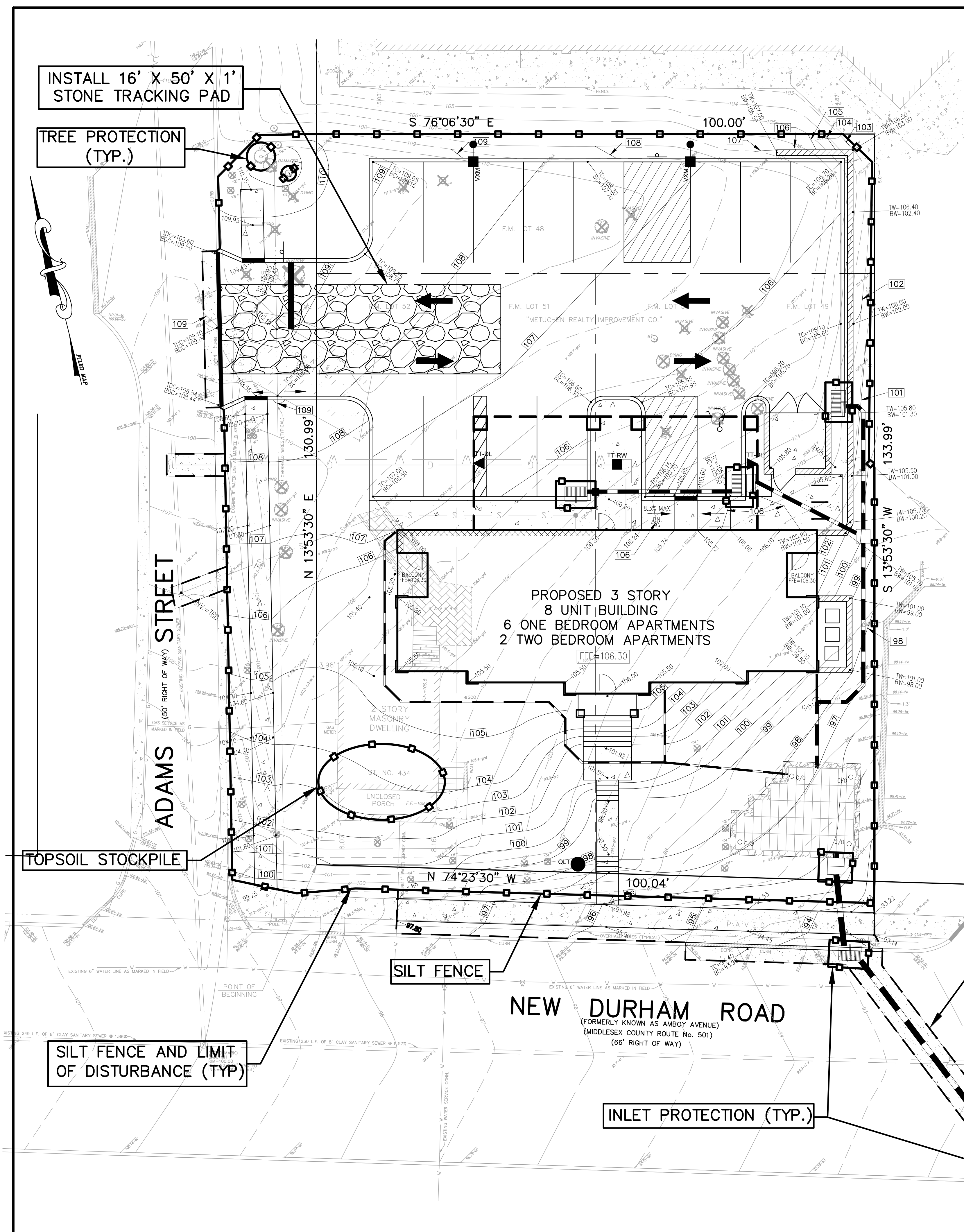
1. THIS PLAN IS TO BE USED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY.
2. STREET SWEEPING TO BE IMPLEMENTED ON ADJACENT ROADWAYS IF REQUIRED TO MAINTAIN SOIL AND DUST FREE CONDITION.

TOTAL AREA OF DISTURBANCE
AREA = 16,978 SF OR 0.39 ACRES

PROJECT EXEMPTIONS:
1. THIS PROJECT IS EXEMPT FROM SOIL COMPACTION TESTING REQUIREMENTS BECAUSE IT IS WITHIN URBAN REDEVELOPMENT ZONE PA-1 AND IS PREVIOUSLY DEVELOPED.



SOILS MAP
SCALE: 1"=30'
MAP SOURCED FROM USDA WEB SOIL SURVEY
THE SITE IS MADE UP OF:
LbuB (LANDSOWNE-URBAN LAND COMPLEX, 0 TO 6 PERCENT SLOPES)
UR (URBAN LAND)



LEGEND

---	EXISTING SIDEWALK ELEVATION	TC	PROPOSED CONTOUR
---	EXISTING GROUND ELEVATION	SPOT	PROPOSED SPOT ELEVATION
---	EXISTING CENTERLINE ELEVATION	---	EXISTING PAVEMENT ELEVATION
---	EXISTING TOP OF CURB ELEVATION	---	EXISTING GRAVEL ELEVATION
---	EXISTING BOTTOM OF CURB ELEVATION	---	EXISTING BUILDING ELEVATION
---	EXISTING DEPRESSED CURB	---	EXISTING CONCRETE ELEVATION
---	EXISTING SANITARY MANHOLE	TC	EXISTING TOP OF GRATE ELEVATION
---	EXISTING STORM MANHOLE	INV	EXISTING INVERT
---	EXISTING UTILITY POLE	---	EXISTING SPOT ELEVATION
---	EXISTING WATER VALVE	---	EXISTING EDGE OF PAVEMENT ELEVATION
---	EXISTING TREE AND SIZE	---	---
---	EXISTING TREES TO BE REMOVED	---	---

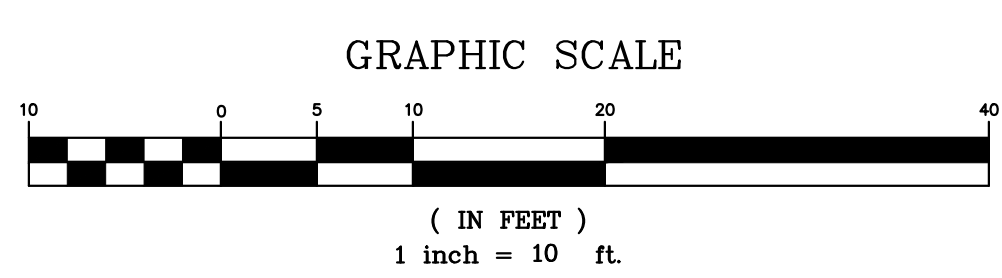
SOIL EROSION & SEDIMENT CONTROL PLAN
PRELIMINARY & FINAL MAJOR SITE PLAN
TAX LOTS 48, 49, 50, 51 & 52 BLOCK 72
BOROUGH OF METUCHEN, MIDDLESEX COUNTY, NEW JERSEY

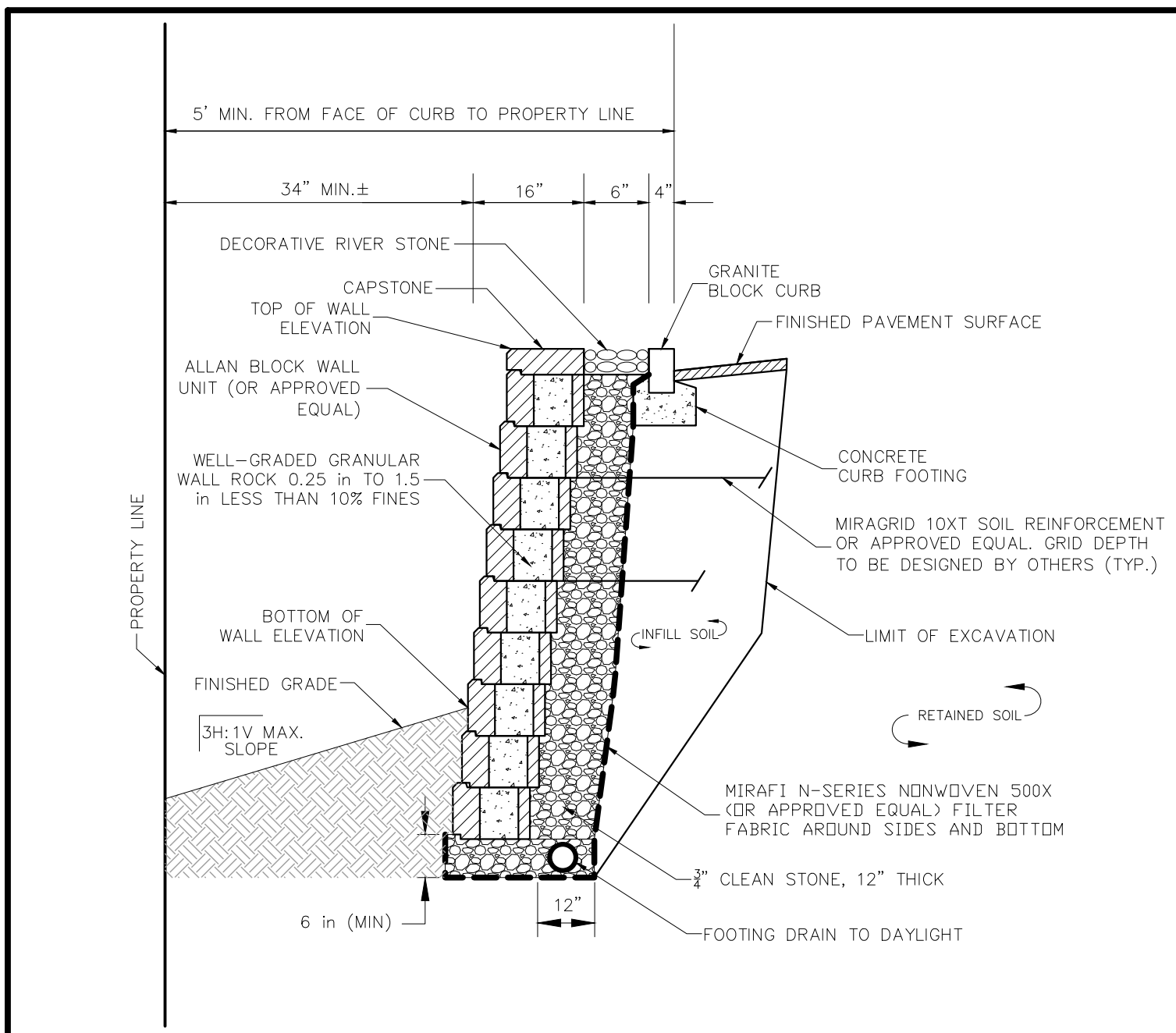
EKA ASSOCIATES, P.A.

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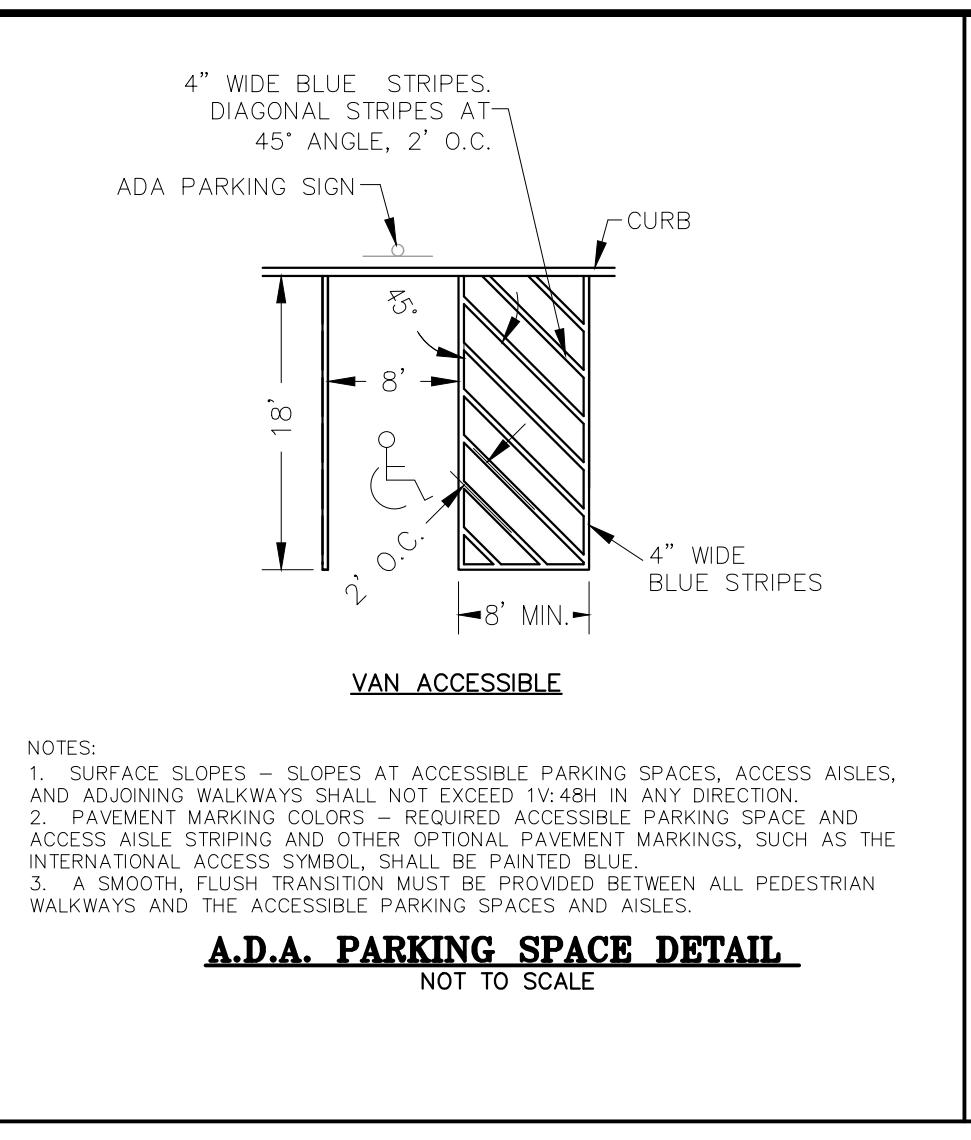
Thomas J. Quinn
THOMAS J. QUINN, P.E., C.M.E.
PROFESSIONAL ENGINEER
N.J. LICENSE NO. 24GE04107200





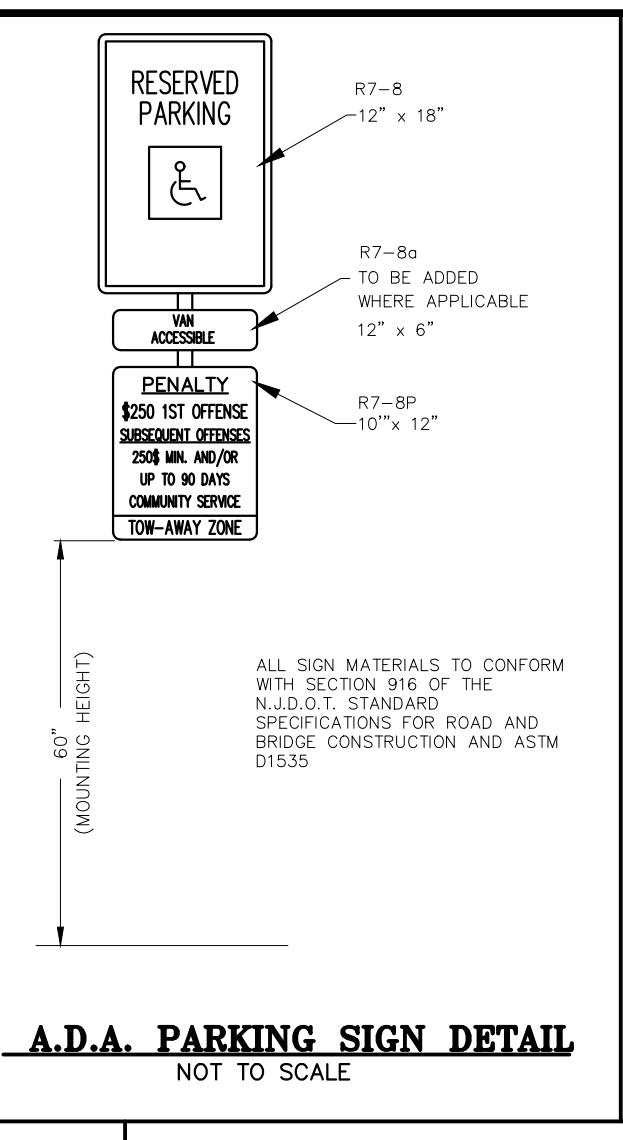
NOTES:
 1. RETAINING WALL STABILITY CALCULATIONS TO BE SUBMITTED TO BOROUGH ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
 2. RETAINING WALL TO BE CONSTRUCTED WITH AB CLASSIC BLOCKS (OR APPROVED EQUAL).
 3. RETAINING WALL TO BE CONSTRUCTED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.

RETAINING WALL DETAIL
NOT TO SCALE



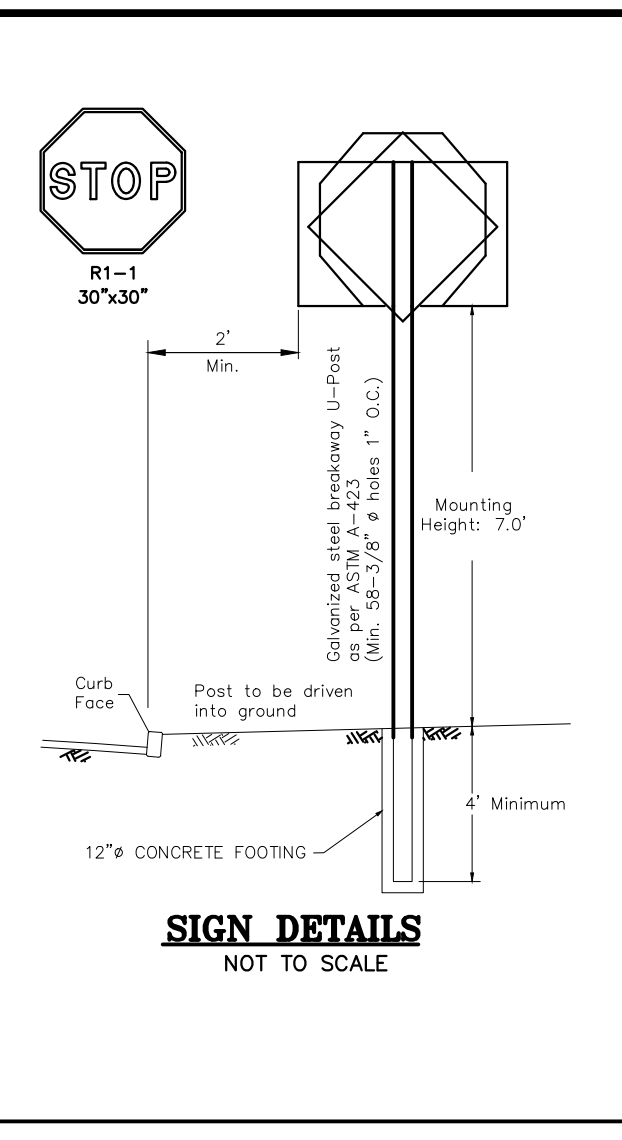
NOTES:
 1. SURFACE SLOPES - SLOPES AT ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ADJOINING WALKWAYS SHALL NOT EXCEED 1:48 IN ANY DIRECTION.
 2. PAVEMENT MARKING COLORS - REQUIRED ACCESSIBLE PARKING SPACE AND ACCESS AISLE STRIPING AND OTHER OPTIONAL PAVEMENT MARKINGS, SUCH AS THE INTERNATIONAL ACCESS SYMBOL, SHALL BE PAINTED BLUE.
 3. A SMOOTH, FLUSH TRANSITION MUST BE PROVIDED BETWEEN ALL PEDESTRIAN WALKWAYS AND THE ACCESSIBLE PARKING SPACES AND AISLES.

A.D.A. PARKING SPACE DETAIL
NOT TO SCALE

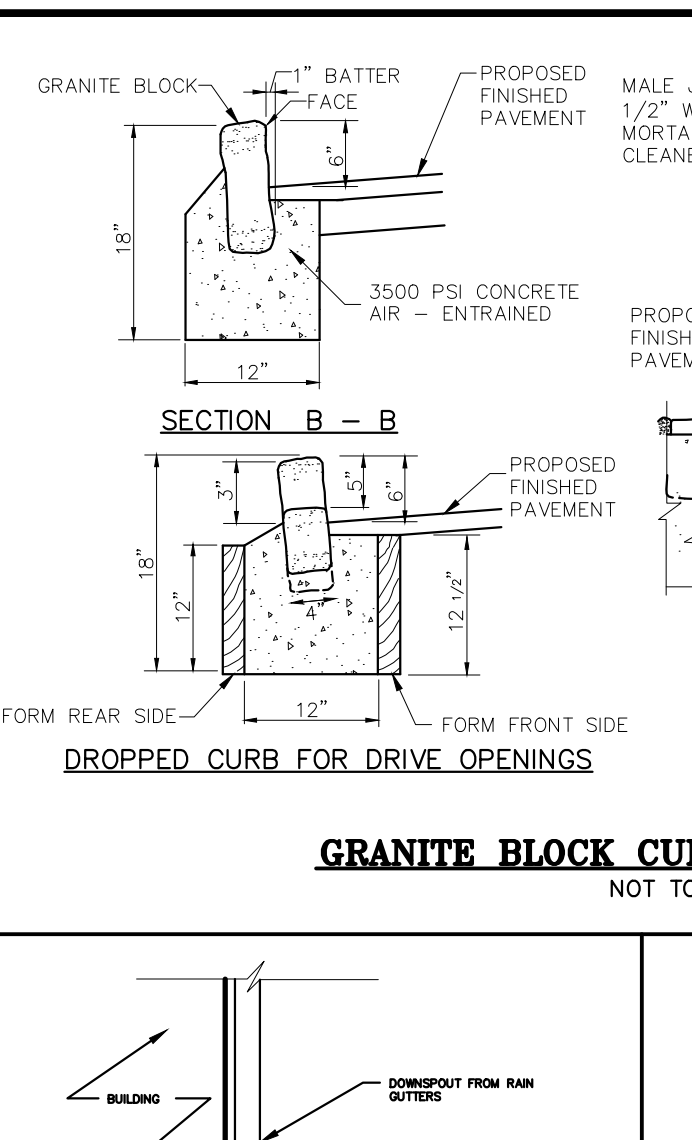


NOTES:
 ALL SIGN MATERIALS TO CONFORM WITH SECTION 816 OF THE N.J.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND ASTM D1535.

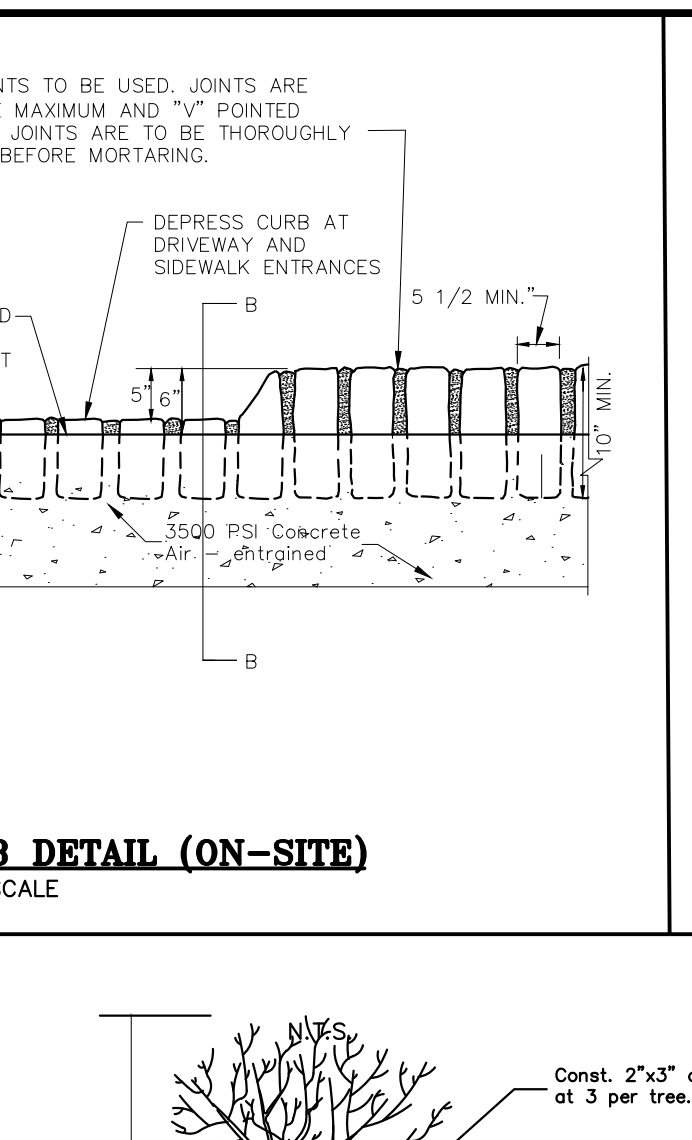
A.D.A. PARKING SIGN DETAIL
NOT TO SCALE



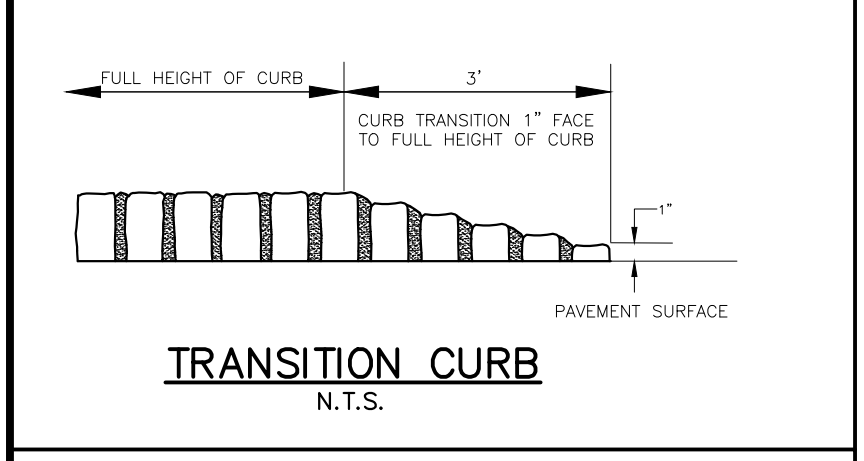
SIGN DETAILS
NOT TO SCALE



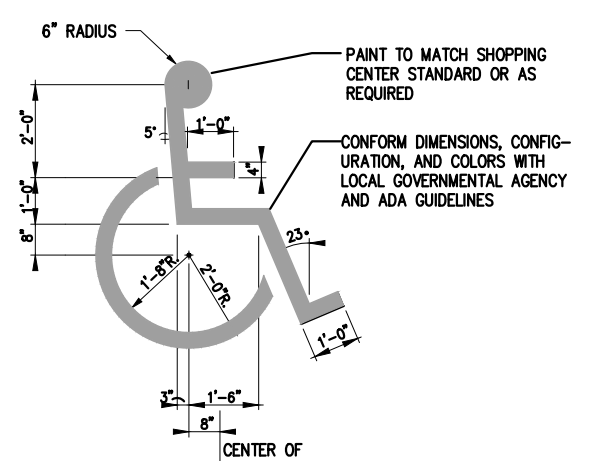
GRANITE BLOCK CURB DETAIL (ON-SITE)
NOT TO SCALE



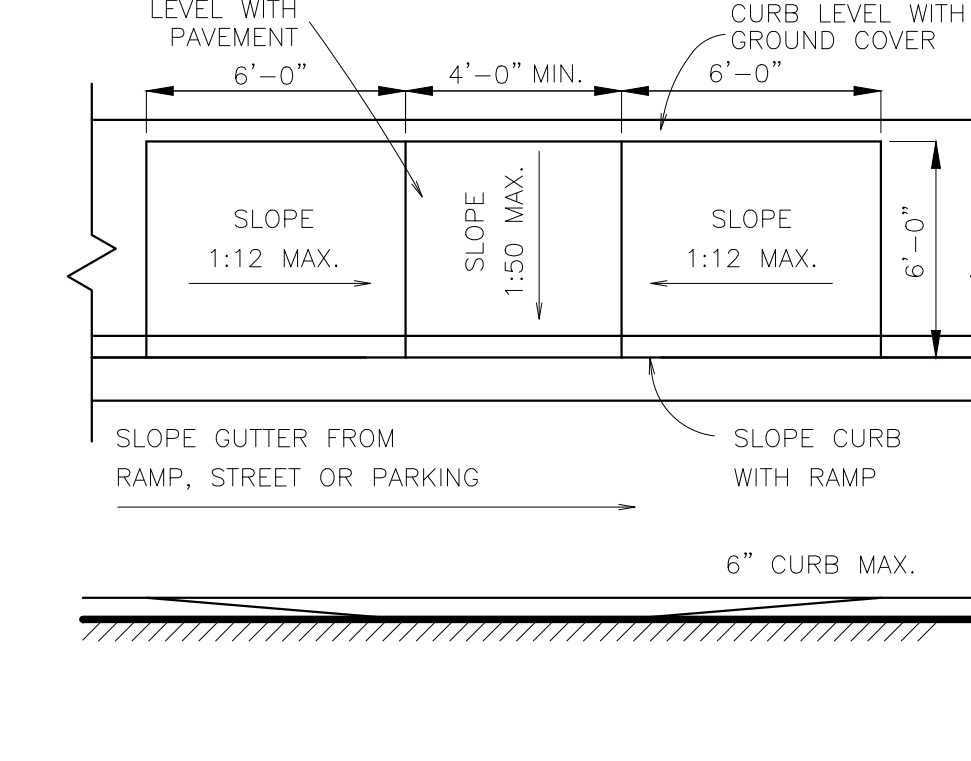
SANITARY SEWER TYPICAL LATERAL CONNECTION DETAIL
NOT TO SCALE



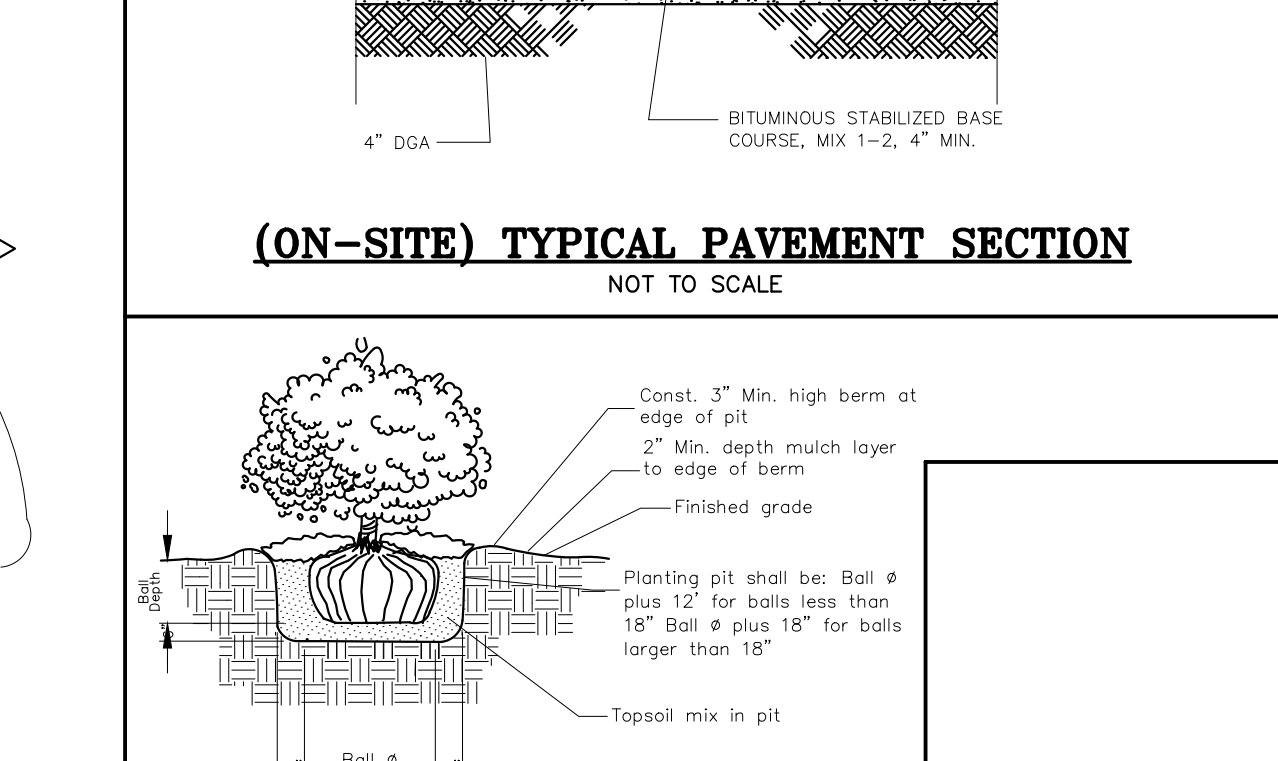
TRANSITION CURB
N.T.S.



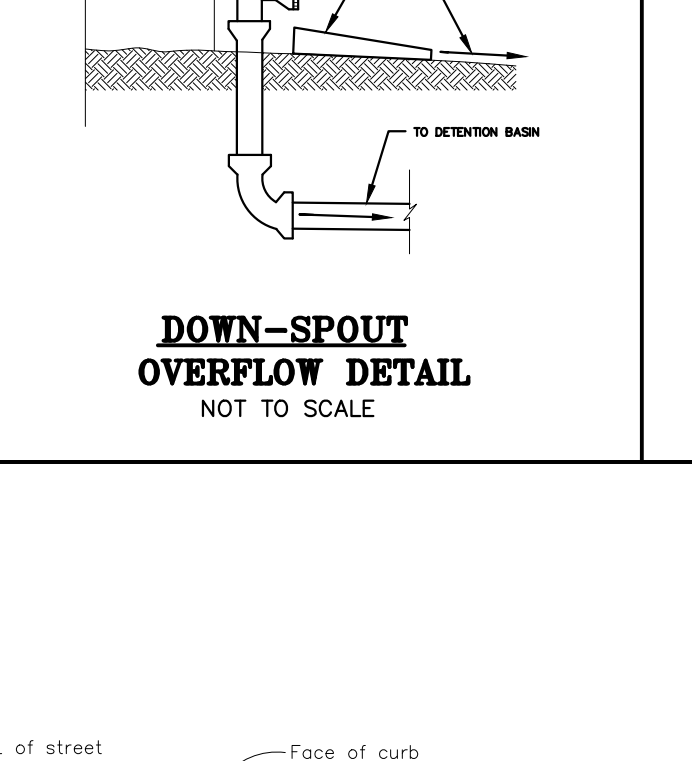
HANDICAP SYMBOL
NOT TO SCALE



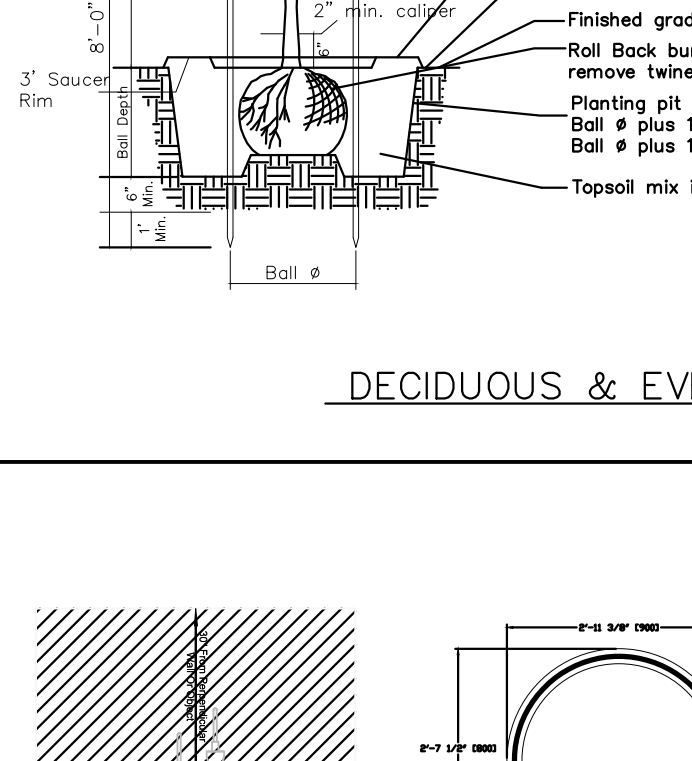
(ON-SITE) TYPICAL PAVEMENT SECTION
NOT TO SCALE



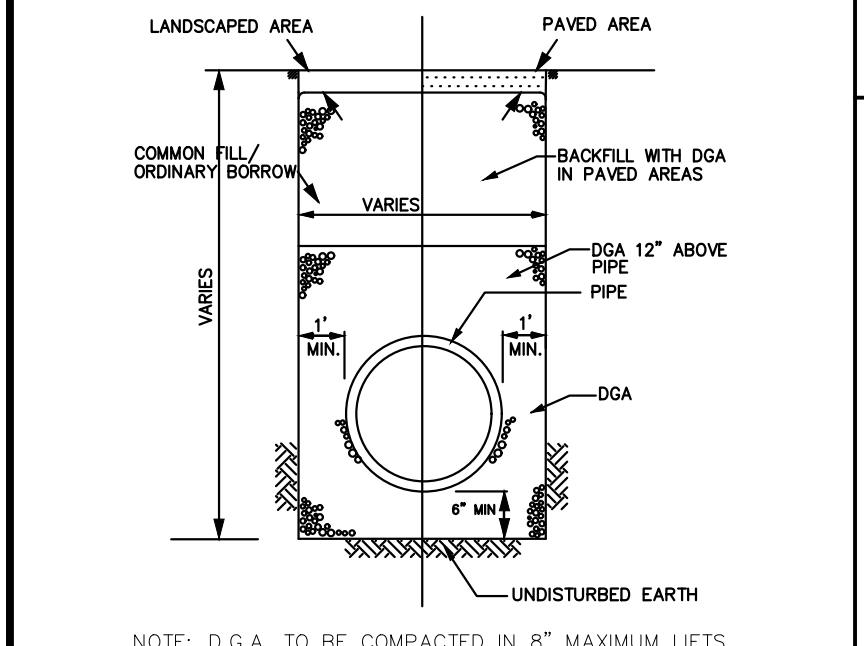
SHRUB PLANTING DETAIL
NOT TO SCALE



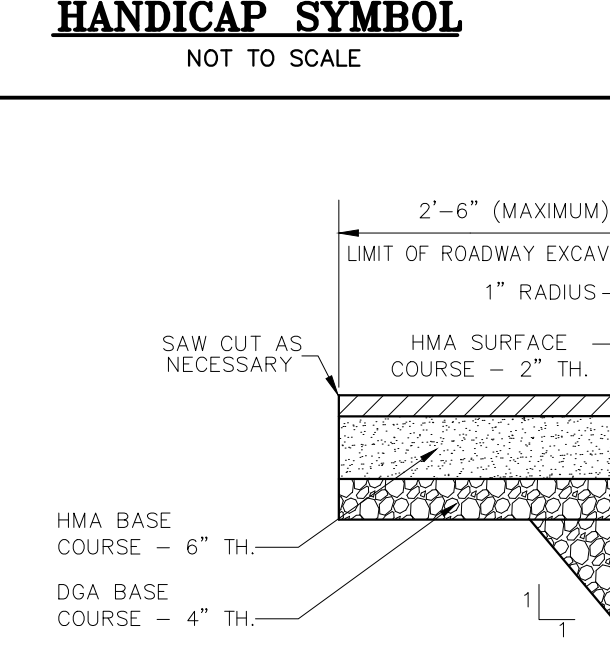
DOWN-SPOUT OVERFLOW DETAIL
NOT TO SCALE



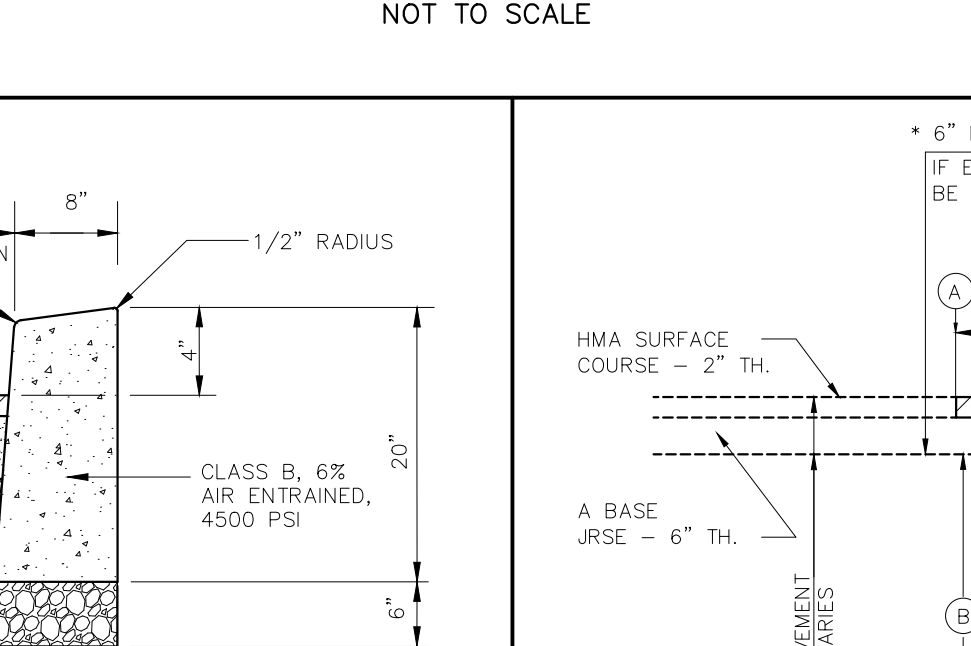
DECIDUOUS & EVERGREEN TREE PLANTING DETAILS
NOT TO SCALE



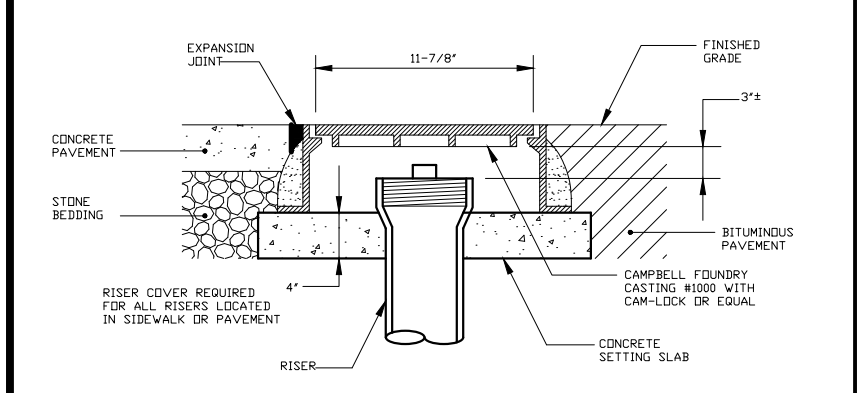
STORM PIPE TRENCH DETAIL
NOT TO SCALE



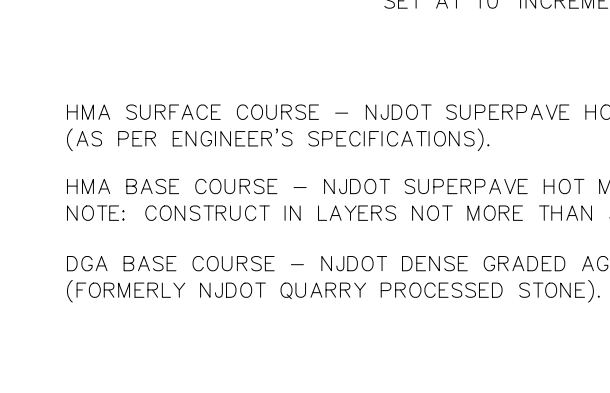
OFF-SITE ROADWAY EXCAVATION & RESTORATION AT CURBS
N.T.S.



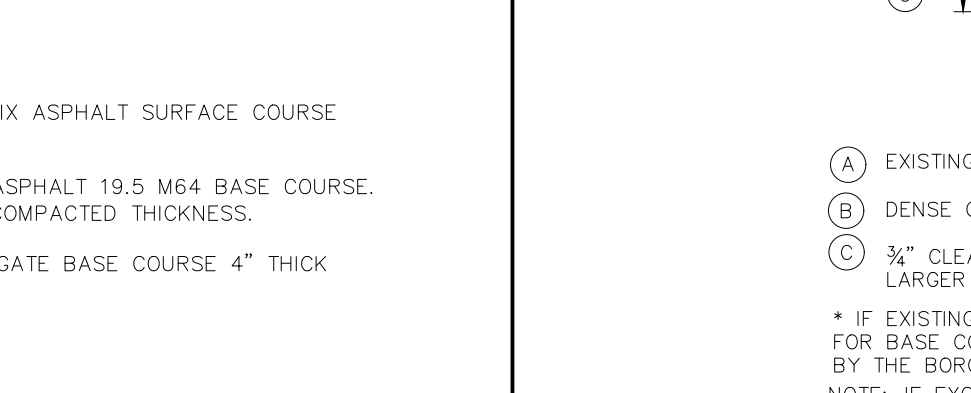
OFF-SITE TRENCH RESTORATION
NOT TO SCALE



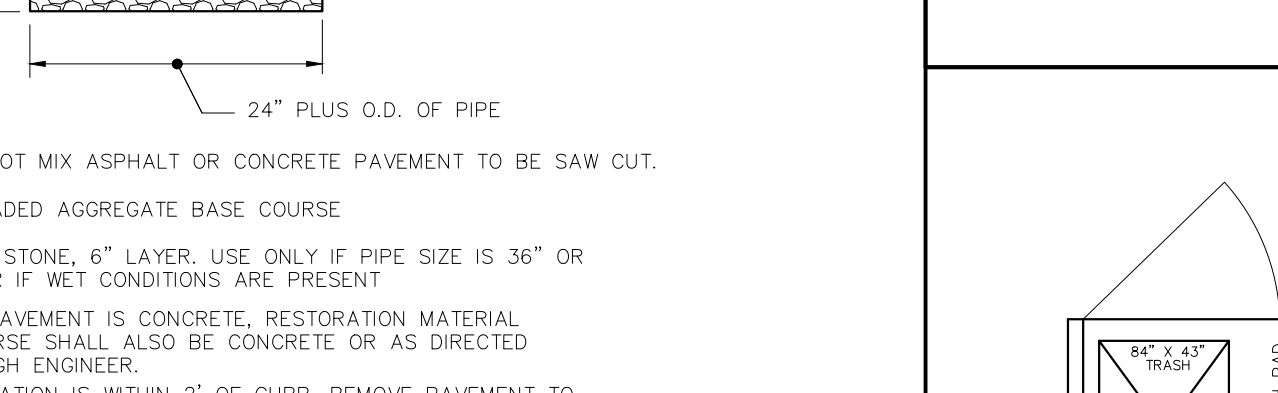
CLEANOUT RISER COVER DETAIL
NOT TO SCALE



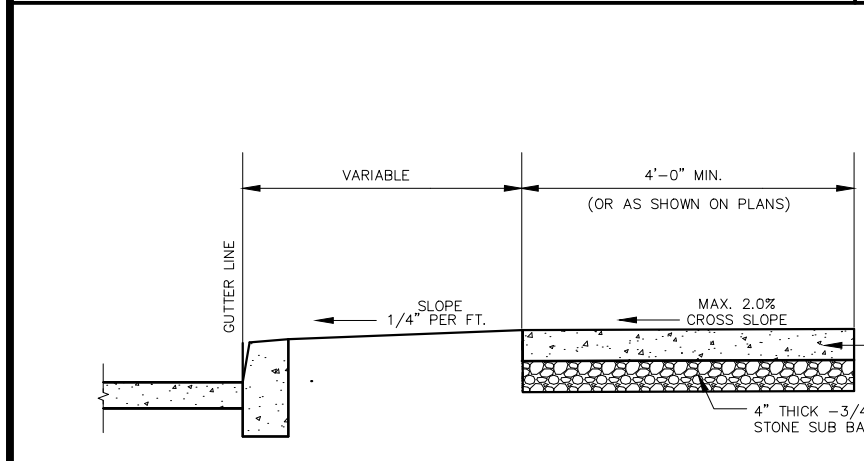
SERVICE CONNECTION SCHEMATIC
N.T.S.



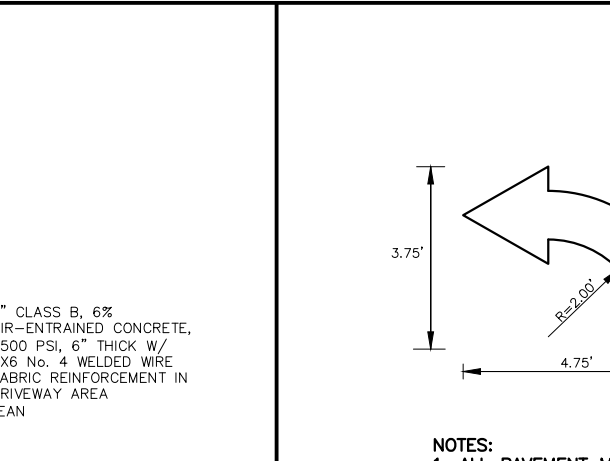
BICYCLE PARKING RACK DETAIL
NOT TO SCALE



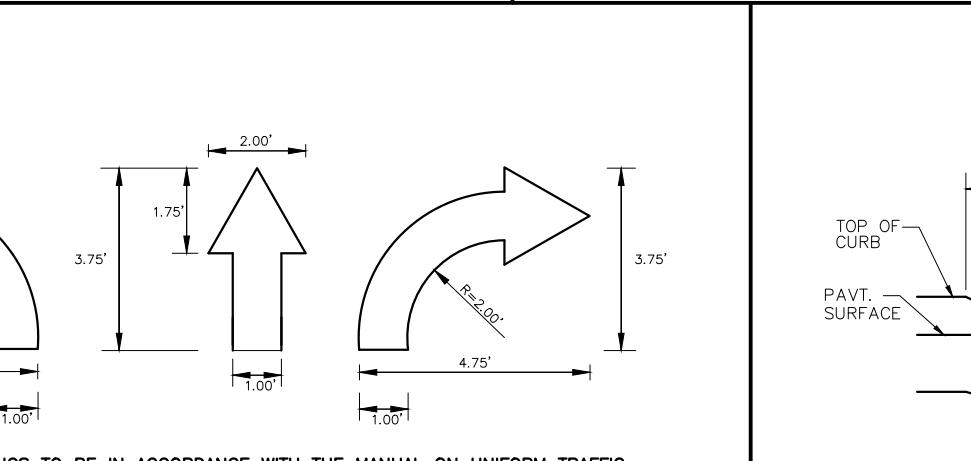
LIGHT POLE DETAIL
NOT TO SCALE



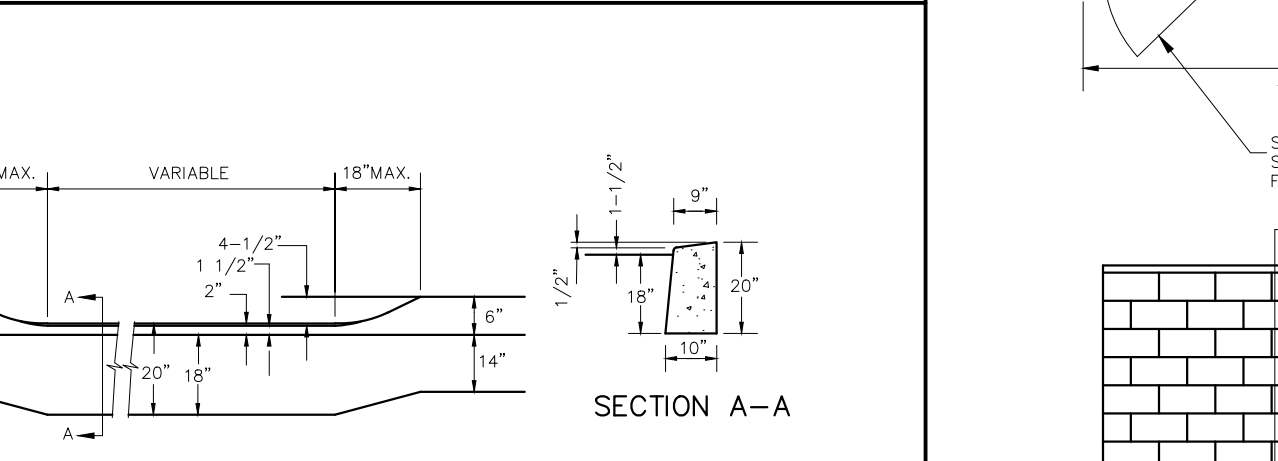
CONCRETE SIDEWALK DETAIL
NOT TO SCALE



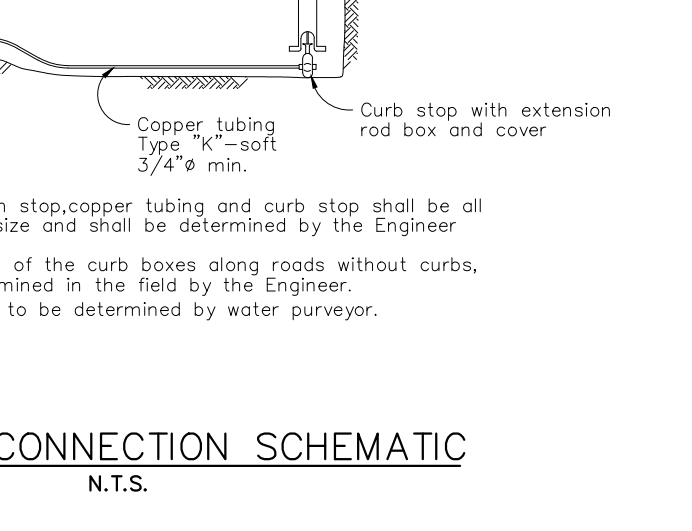
PAVEMENT ARROWS
NOT TO SCALE



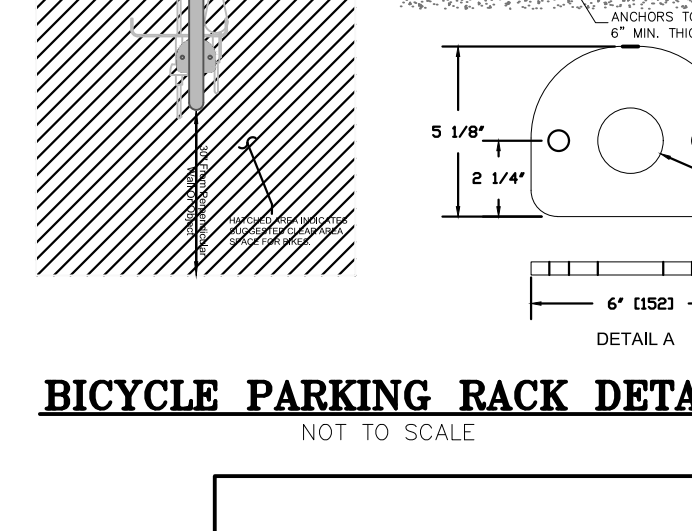
DETAIL OF DEPRESSED CONCRETE CURB AT DRIVEWAY
NOT TO SCALE



DETAIL OF TRASH ENCLOSURE
NOT TO SCALE



SANITARY SEWER PIPE BEDDING DETAIL
N.T.S.



SANITARY SEWER PIPE BEDDING DETAIL
N.T.S.

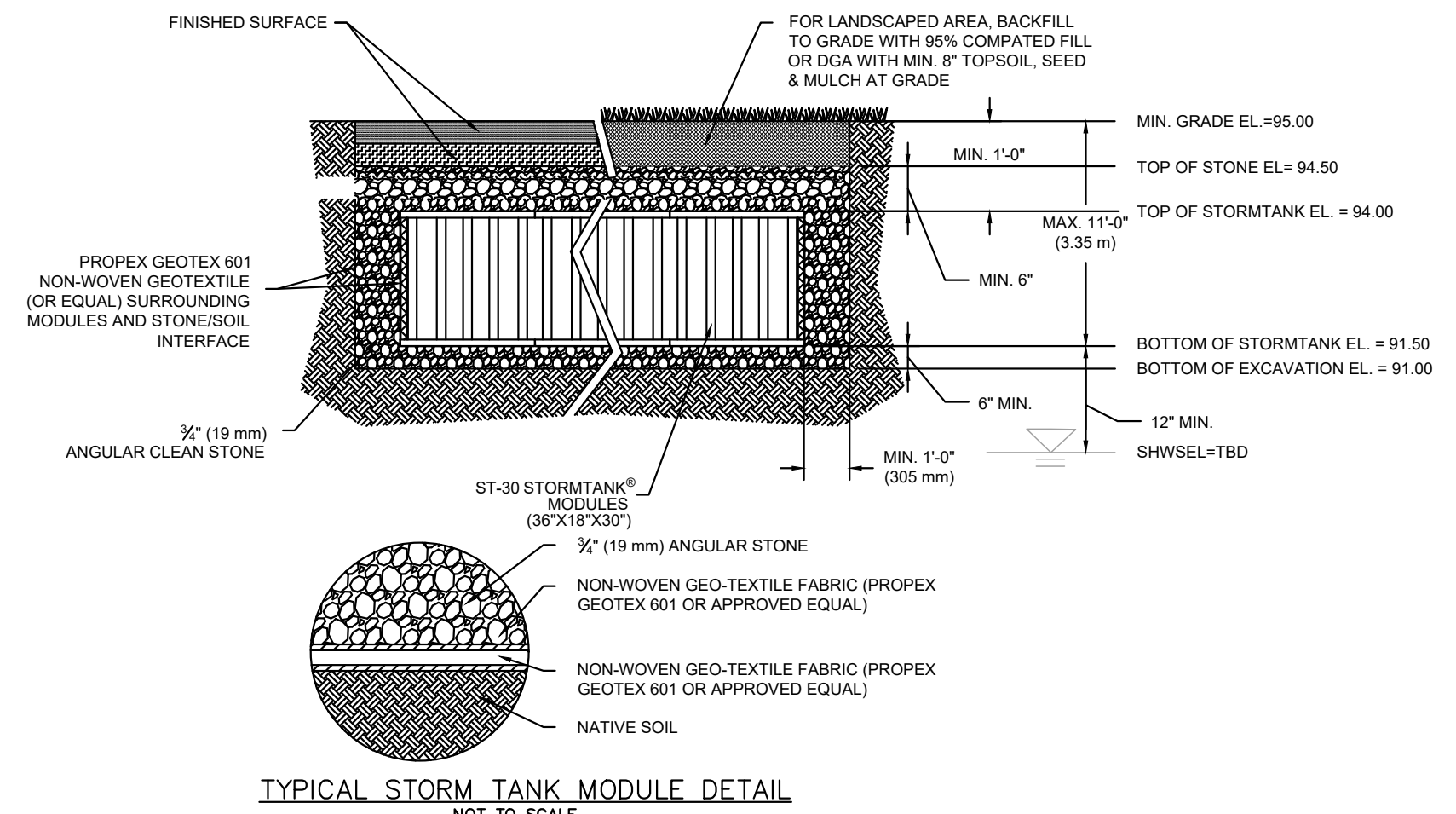
CONSTRUCTION DETAILS 1
PRELIMINARY & FINAL MAJOR SITE PLAN
TAX LOTS 48, 49, 50, 51 & 52 BLOCK 72
BOROUGH OF METUCHEN, MIDDLESEX COUNTY, NEW JERSEY

EKA ASSOCIATES, P.A.
 Engineers • Surveyors • Planners
 328 Park Avenue, Scotch Plains, N.J. 07076
 908-322-2030

REVISIONS:
 5/28/2021 - REVISED PER BOROUGH COMMENTS

Thomas J. Quinn
THOMAS J. QUINN, P.E., C.M.E.
 PROFESSIONAL ENGINEER
 N.J. LICENSE NO. 24GE04107200

Job No. 847814 Date 11/18/2020 Scale NTS Drawn MW Map No. FILE Sheet 7 of 8



- GENERAL NOTES:**
1. STORMTANKS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
 2. SEASONAL HIGH WATER TABLE ELEVATION TO BE DETERMINED PRIOR TO CONSTRUCTION TO VERIFY ABSENCE OF GROUNDWATER WITHIN ONE FOOT OF THE BOTTOM OF THE STORM TANK. THIS DESIGN DOES NOT RELY ON INFILTRATION.
 3. CLEANOUTS TO BE PROVIDED AS SHOWN ON PLANS.
 4. THIS SYSTEM REQUIRES (58) ST-30 STORMTANK MODULES.
 5. THE USE OF ANY HEAVY CONSTRUCTION EQUIPMENT VEHICLES SHALL BE PROHIBITED OVER THE AREA OF THE DETENTION BASIN.

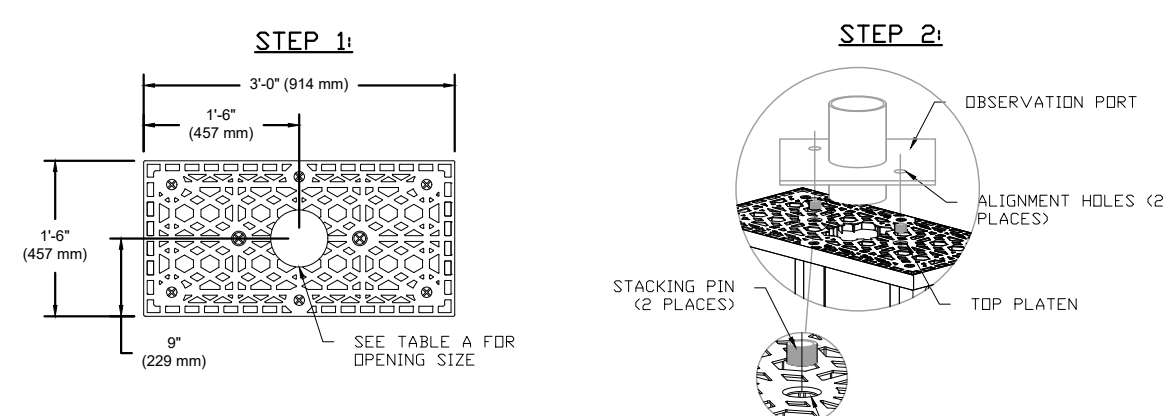
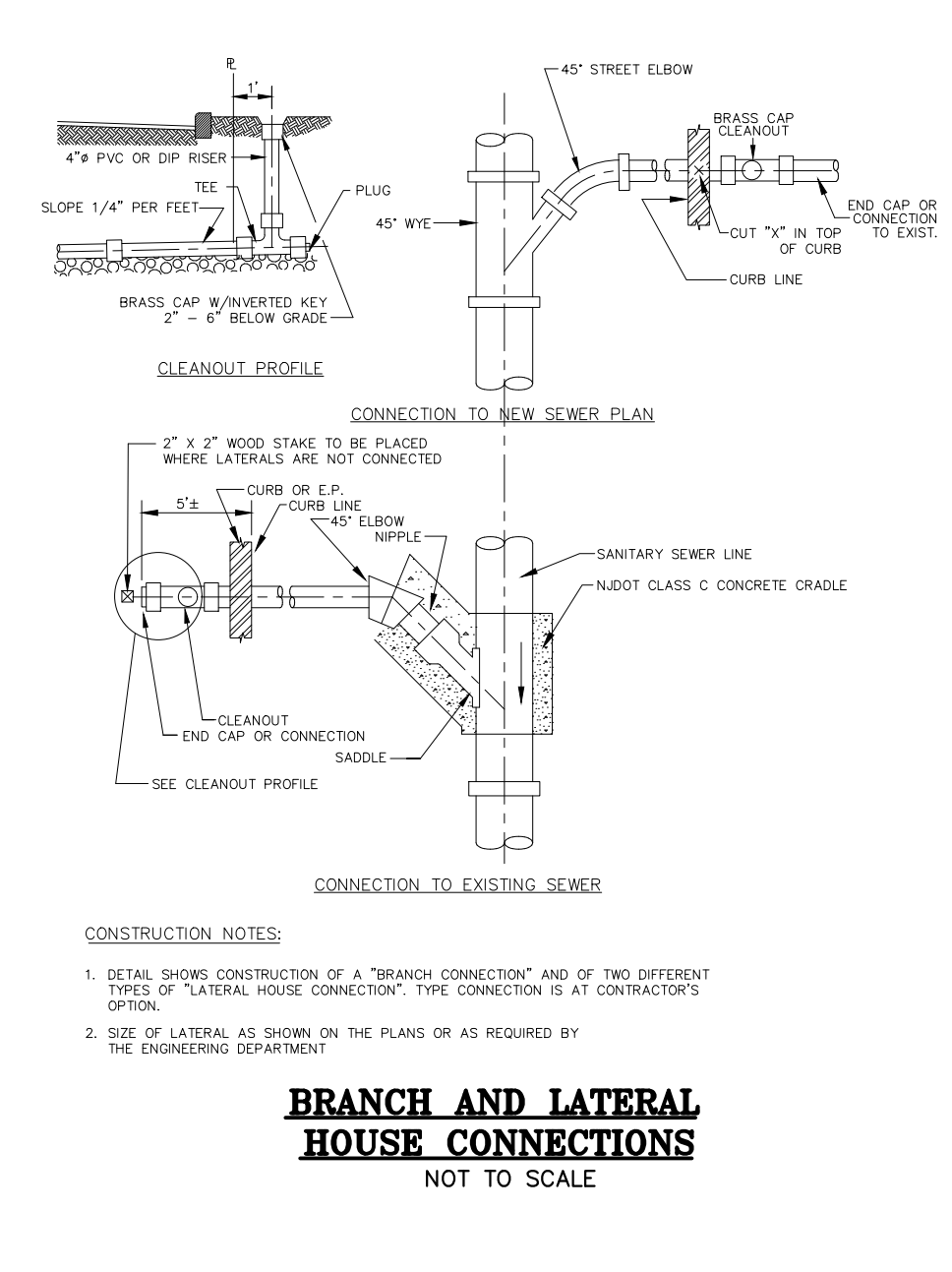
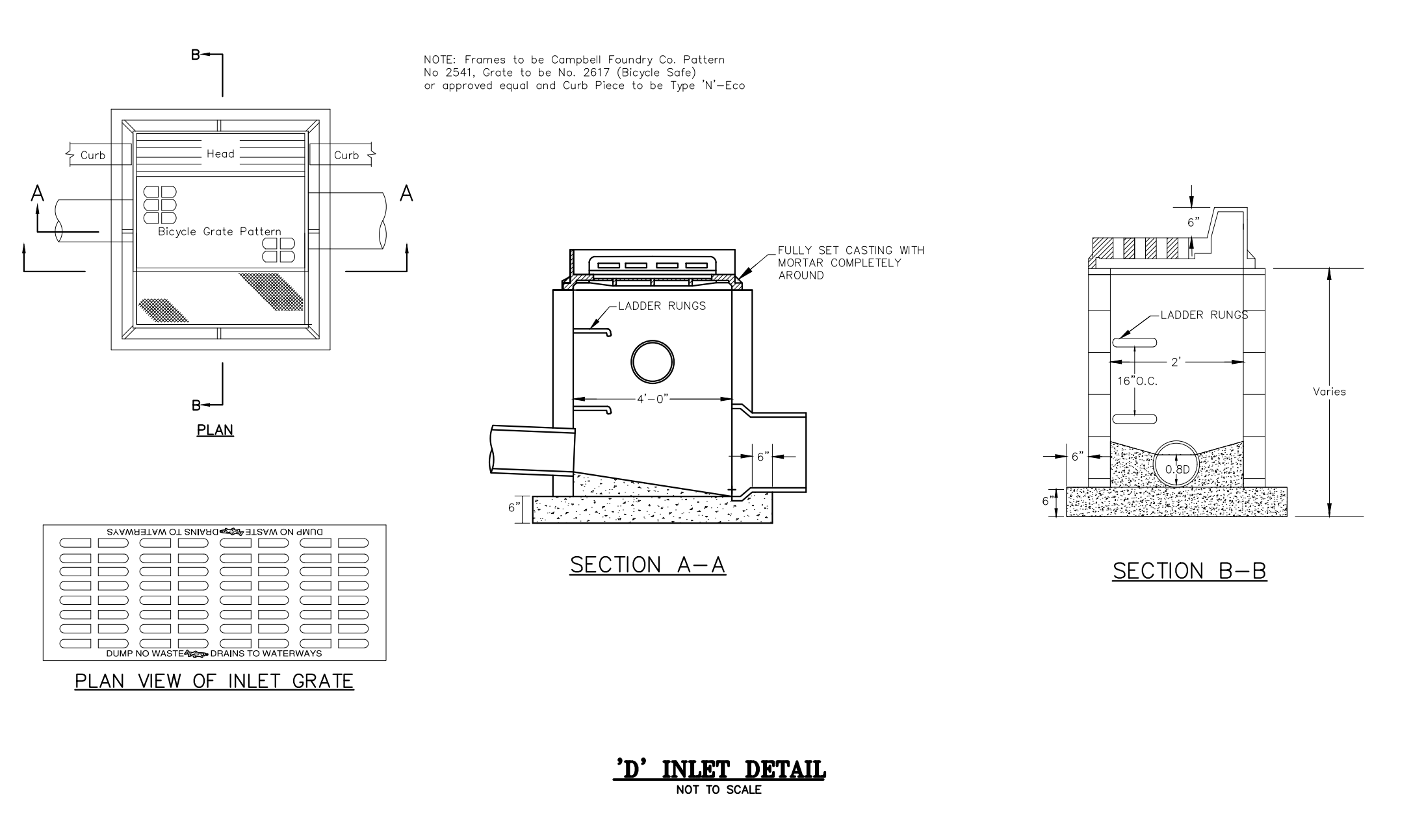
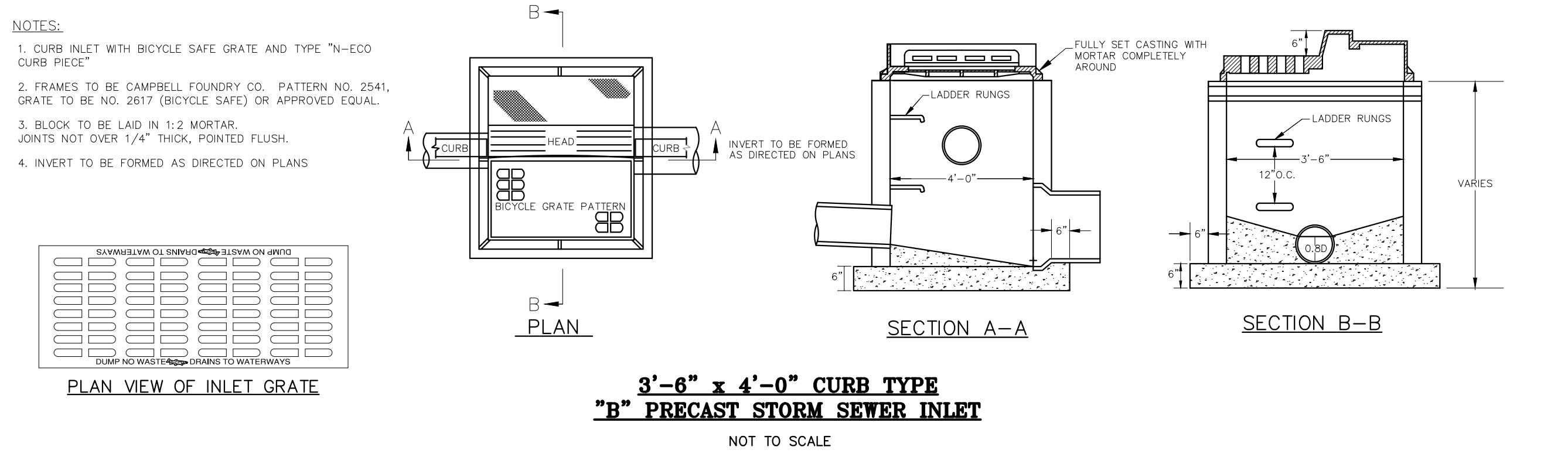
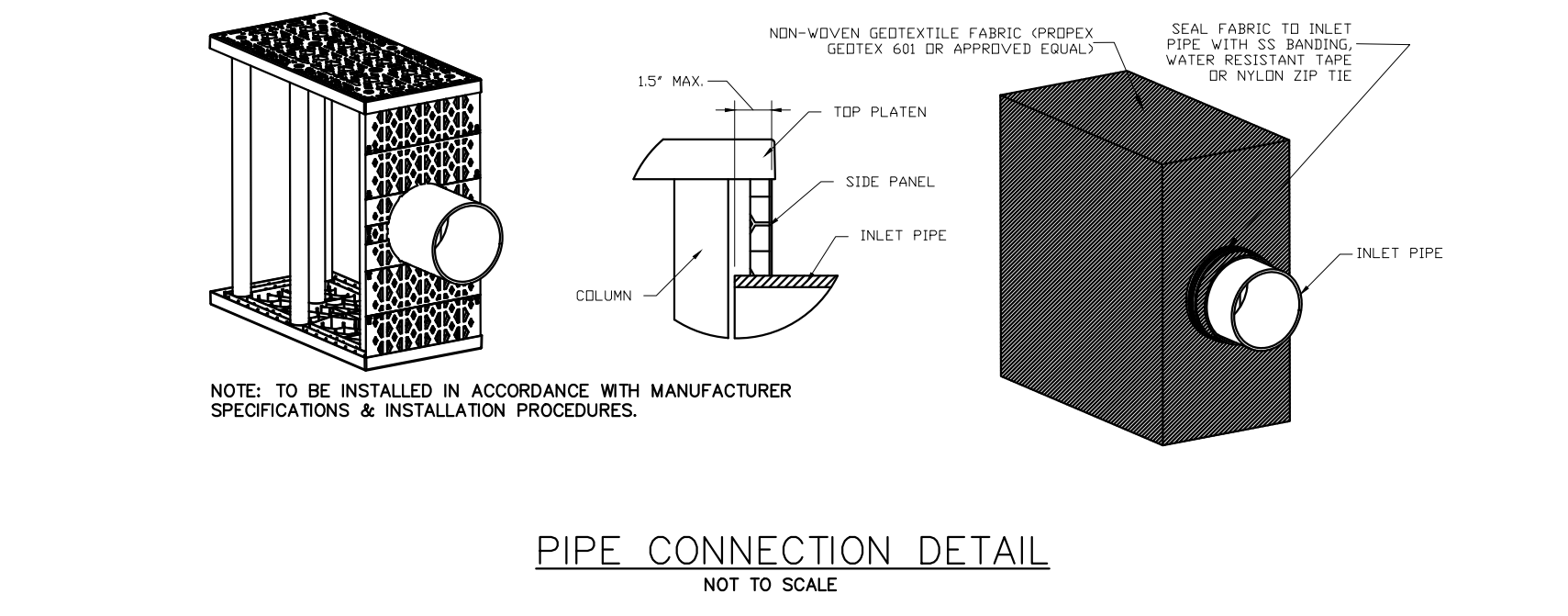
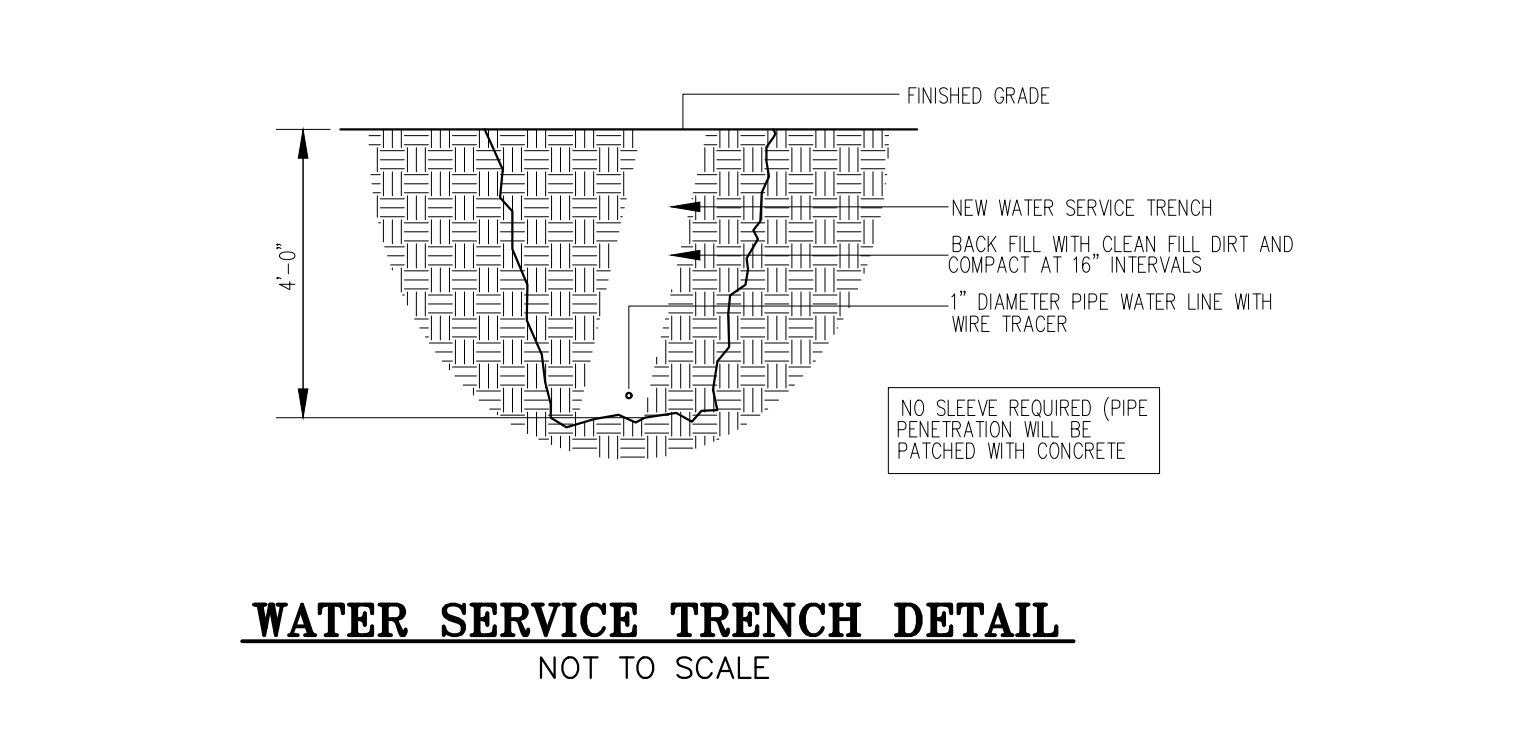
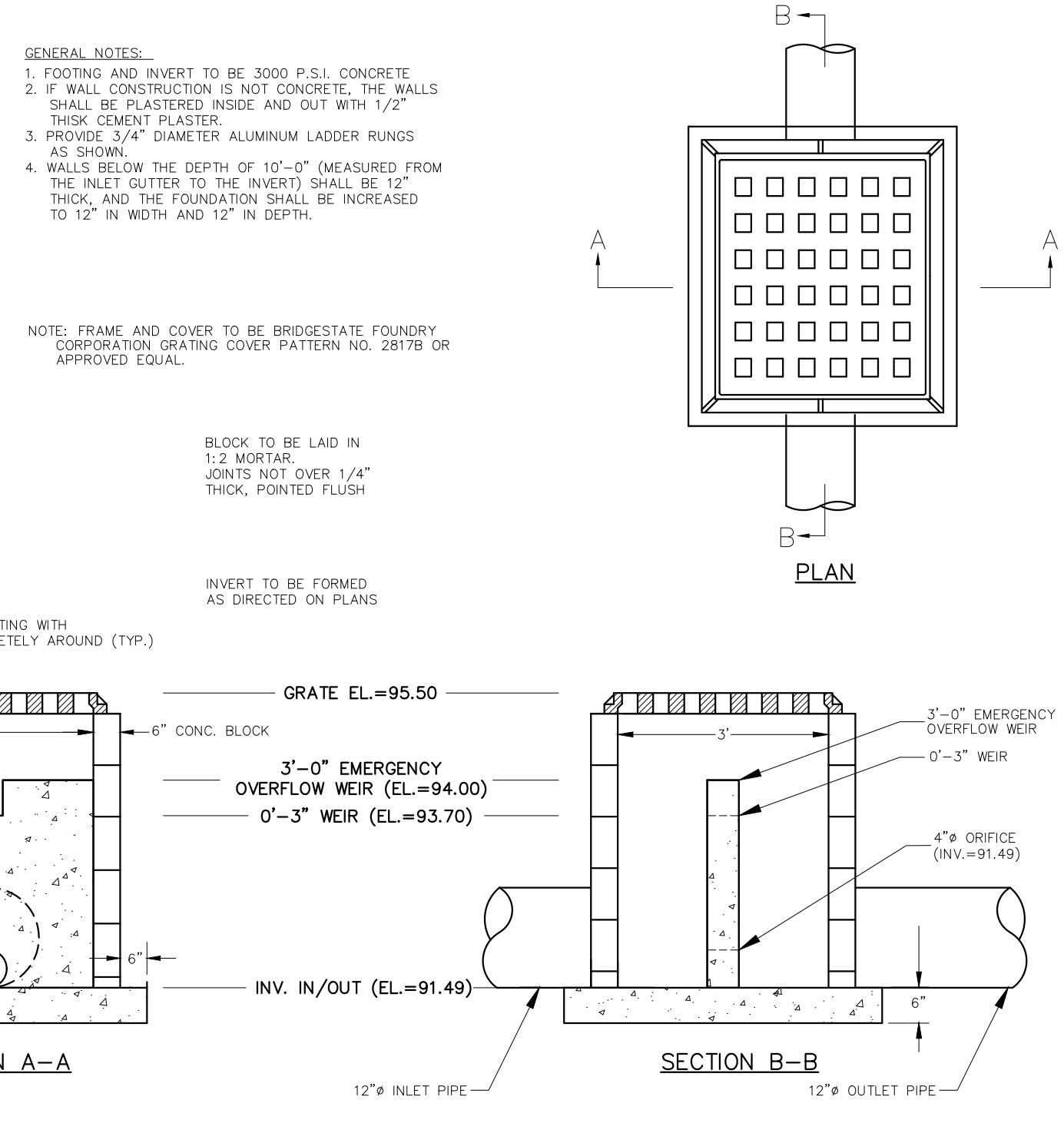
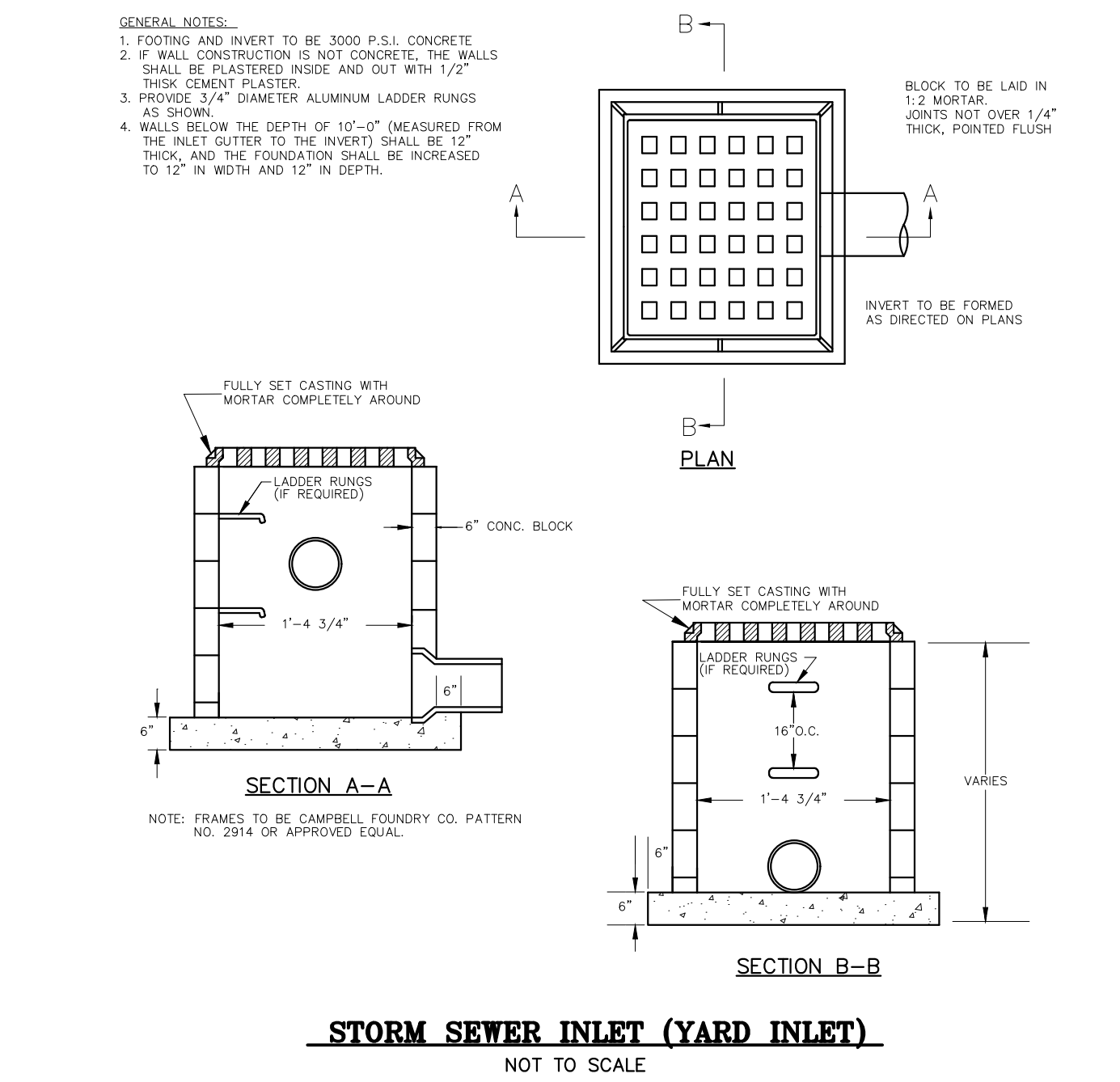
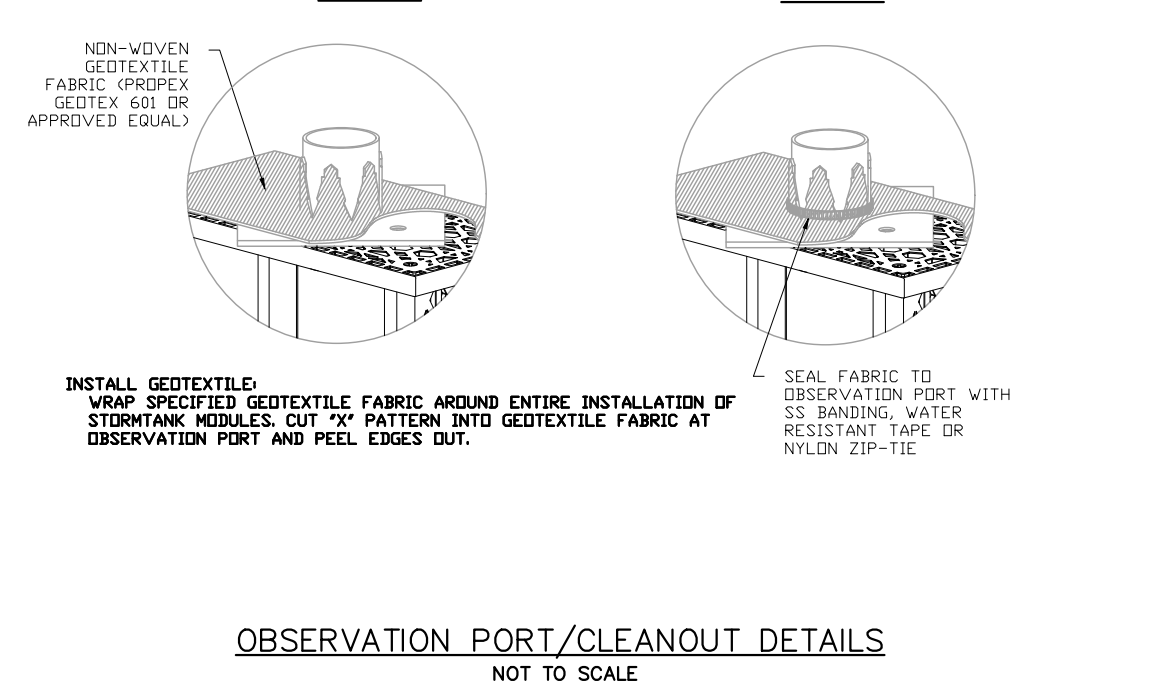
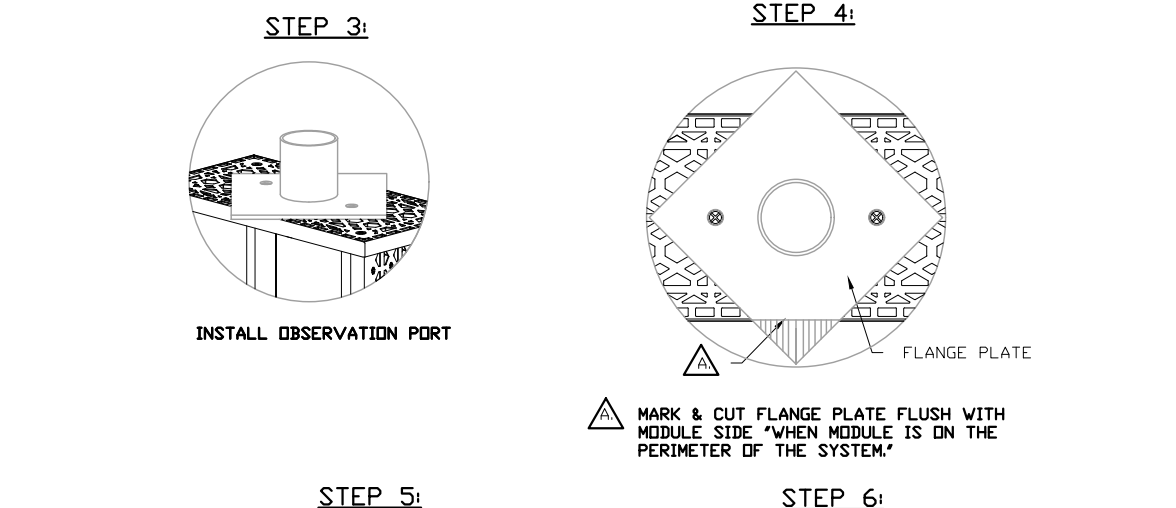


TABLE A: OBSERVATION PORT DIMENSION			
PORT SIZE	OPEN SIZE	RISER PIPE DIA.	FLANGE DIA.
6" (152 mm)	7" (178 mm)	6" (152 mm)	8" (203 mm)
8" (203 mm)	9" (229 mm)	8" (203 mm)	10" (254 mm)
10" (254 mm)	11" (279 mm)	10" (254 mm)	12" (305 mm)



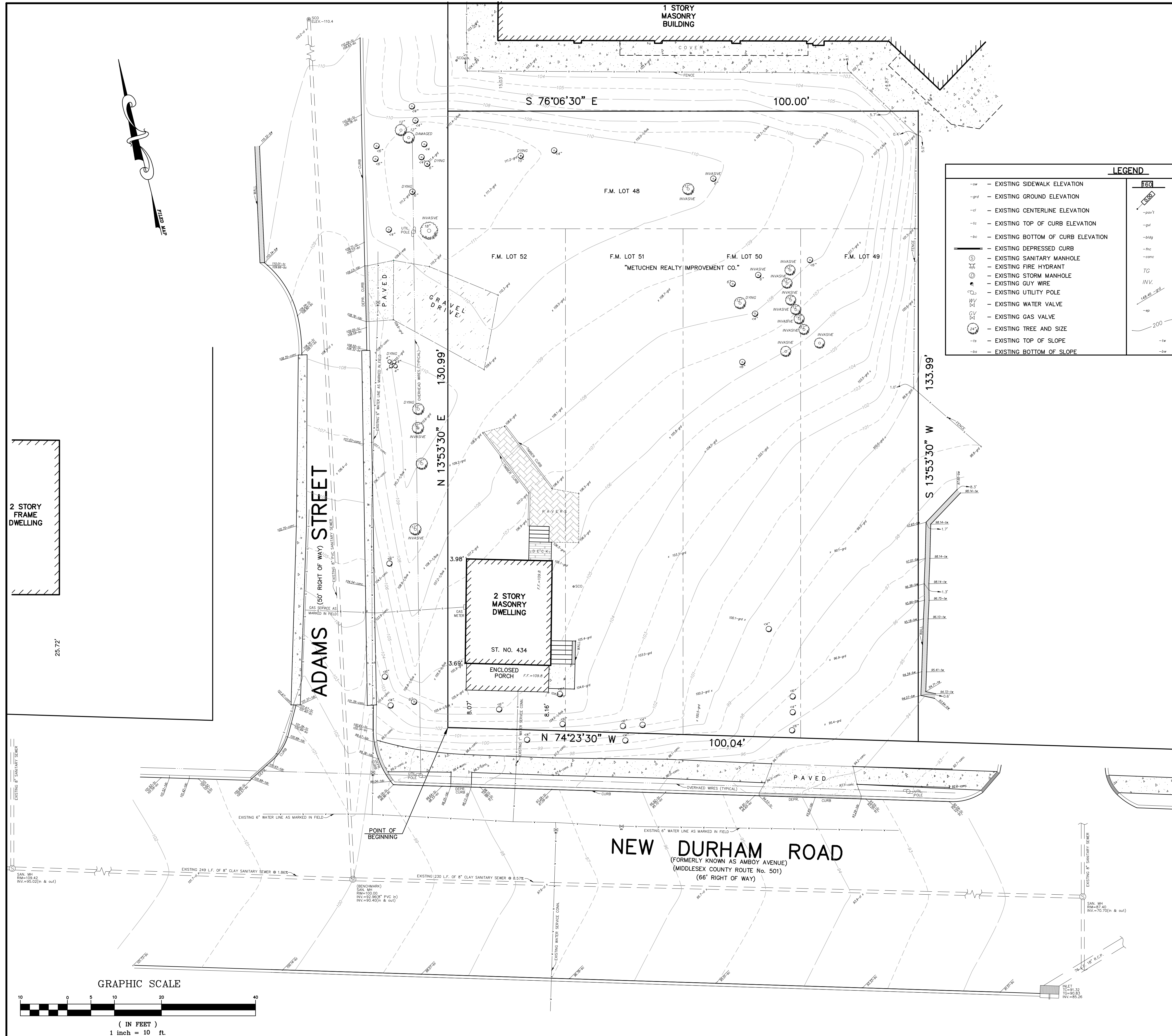
CONSTRUCTION DETAILS 2
PRELIMINARY & FINAL MAJOR SITE PLAN
TAX LOTS 48, 49, 50, 51 & 52 BLOCK 72
BOROUGH OF METUCHEN, MIDDLESEX COUNTY, NEW JERSEY

EKA ASSOCIATES, P.A.
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908-322-2030

REVISIONS:
 5/28/2021 - REVISED PER BOROUGH COMMENTS

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 N.J. LICENSE NO. 24GE04107200

Job No. 847814 Date 11/18/2020 Scale NTS Drawn MW Map No. FILE Sheet 8 of 8



NOTES

1. THIS SURVEY IS BASED UPON THE FOLLOWING DATA AND/OR RECEIPTS:

	YES	NO
A. DEED OF RECORD	X	
B. FILED MAP	X	
C. FIELD SURVEY	X	
D. TITLE SEARCH	X	
E. TAX MAP	X	
F. OTHER (SEE REFERENCES)	X	

2. THIS SURVEY REPRESENTS CONDITIONS VISIBLE ON OR ABOVE THE SURFACE OF THE GROUND AT THE TIME OF THE SURVEY. THE UNDERSIGNED PROFESSIONAL IS NOT RESPONSIBLE FOR THE PRESENCE OF UNDERGROUND UTILITIES OR STRUCTURES IF SAME ARE NOT VISIBLE OR OTHERWISE DISCLOSED BY ANY OF THE ABOVE DATA.

3. THIS SURVEY AND PLAN IS MADE FOR AND CERTIFIED TO THE PARTIES NAMED HEREON FOR THE PURPOSE(S) STATED. NO OTHER PURPOSE IS INTENDED NOR IMPLIED. THE UNDERSIGNED SURVEYOR IS NEITHER RESPONSIBLE NOR LIABLE FOR THE USE OF THIS SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN THE CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY.

4. IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL AND MAY HAVE BEEN ALTERED.

5. PARCEL CONTAINS 13,249 S.F. ±.

6. A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L.2003,c.14(C45:8-36.3) AND N.J.A.C. 13:40-5.1(d).

7. ELEVATIONS SHOWN HEREON ARE BASED UPON AN ASSUMED DATUM. LOCAL BENCHMARK IS THE RIM OF A SANITARY SEWER MANHOLE LOCATED IN THE INTERSECTION OF NEW DURHAM ROAD AND ADAMS STREET.
RIM ELEVATION = 100.00 (ASSUMED)

RECORD DEED DEED BOOK 177898, PAGE 1918 TAX MAP SHEET No. 17
DEED BOOK 3100, PAGE 842(CONVEYANCE)

REFERENCE SURVEY PREPARED BY J Y LAND SURVEYING, INC., DATED 2/14/2020

FILED MAP DATA "PROPERTY OF METUCHEN REALTY IMPROVEMENT COMPANY," FILED ON NOVEMBER 23, 1916 AS MAP No. 828, FILE No. 261.

LEGEND

-sw-	EXISTING SIDEWALK ELEVATION	REG	PROPOSED CONTOUR
-gr-	EXISTING GROUND ELEVATION	SPOT	PROPOSED SPOT ELEVATION
-cl-	EXISTING CENTERLINE ELEVATION	-pav-	EXISTING PAVEMENT ELEVATION
-tc-	EXISTING TOP OF CURB ELEVATION	-grv-	EXISTING GRAVEL ELEVATION
-bc-	EXISTING BOTTOM OF CURB ELEVATION	-bld-	EXISTING BUILDING ELEVATION
-dc-	EXISTING DEPRESSED CURB	-fnc-	EXISTING FENCE ELEVATION
SM	EXISTING SANITARY MANHOLE	-cnc-	EXISTING CONCRETE ELEVATION
FD	EXISTING FIRE HYDRANT	TC	EXISTING TOP OF GRATE ELEVATION
SM	EXISTING STORM MANHOLE	INV.	EXISTING INVERT
UP	EXISTING UTILITY POLE	SPOT	EXISTING SPOT ELEVATION
WV	EXISTING WATER VALVE	EDGE	EXISTING EDGE OF PAVEMENT ELEVATION
GV	EXISTING GAS VALVE	CONTOUR	EXISTING CONTOUR
T	EXISTING TREE AND SIZE	-tw-	EXISTING TOP OF WALL
-ts-	EXISTING TOP OF SLOPE	-bw-	EXISTING BOTTOM OF WALL
-bs-	EXISTING BOTTOM OF SLOPE		

2 STORY FRAME DWELLING

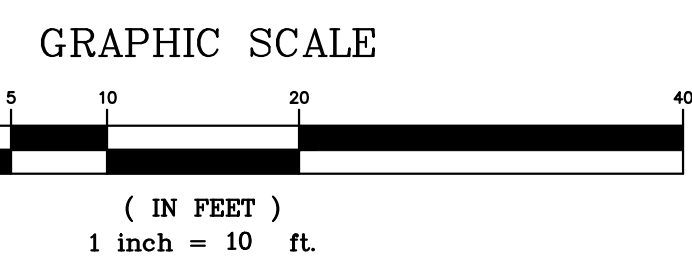
2 STORY FRAME BUILDING

NEW DURHAM ROAD
(FORMERLY KNOWN AS AMBOY AVENUE)
(MIDDLESEX COUNTY ROUTE No. 501)
(66' RIGHT OF WAY)

ADAMS STREET
(60' RIGHT OF WAY)

2 STORY MASONRY DWELLING
ST. NO. 434
ENCLOSED PORCH

1 STORY MASONRY BUILDING



BOUNDARY & TOPOGRAPHIC SURVEY
TAX LOTS 48, 49, 50, 51 & 52 BLOCK 72
BOROUGH OF METUCHEN, MIDDLESEX COUNTY, NEW JERSEY

EKA ASSOCIATES, P.A.

Engineers • Surveyors • Planners
328 Park Avenue, Scotch Plains, N.J. 07076
908-322-2030

REVISIONS:
5/28/2021 - REVISED TREES PER TREE EXPERT'S REPORT

James R. Watson 5/28/2021
JAMES R. WATSON P.L.S., P.P.
PROFESSIONAL LAND SURVEYOR N.J. LICENSE NO. 30750
PROFESSIONAL PLANNER N.J. LICENSE NO. 3363

Job No. 847814	Date 10/22/2020	Scale 1" = 10'	Drawn WKA	Map No. FILE	Sheet 1 of 1
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