



Project 163 Center Street

Energy Code: 2018 IECC
Location: Metuchen, New Jersey
Construction Type: Single-family Addition
Climate Zone: 4 (5227 HDD)
Permit Date:
Permit Number:

Construction Site: 163 Center Street, Block 55, Lot 12,13, Metuchen, NJ 08840
Owner/Agent:
Designer/Contractor: Mansour Azid, Danon Group, 3 Hirschklau Lane, Fair Lawn, NJ (201)681-7777, danongroup@aol.com

Compliance: Passes using UA trade-off
Compliance: 0.3% Better Than Code
Maximum UA: 287 Your UA: 286 Maximum SHGC: 0.40 Your SHGC: 0.40
The % Better or Worse Than Code index reflects how close to compliance the house is based on code trade-off rules.
R-DOCS NOT provide an estimate of energy use or cost relative to a minimum-code home.
Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Envelope Assemblies

Table with 8 columns: Assembly, Gross Area of Perimeter, Cavity R-Value, Cont. R-Value, Prop. U-Factor, Req. U-Factor, Prop. UA, Req. UA. Rows include Ceiling, Wall, Door, Window, and various Wall/Window assemblies.

Project Title: 163 Center Street Report date: 09/26/22
Data filename: Page 1 of 2

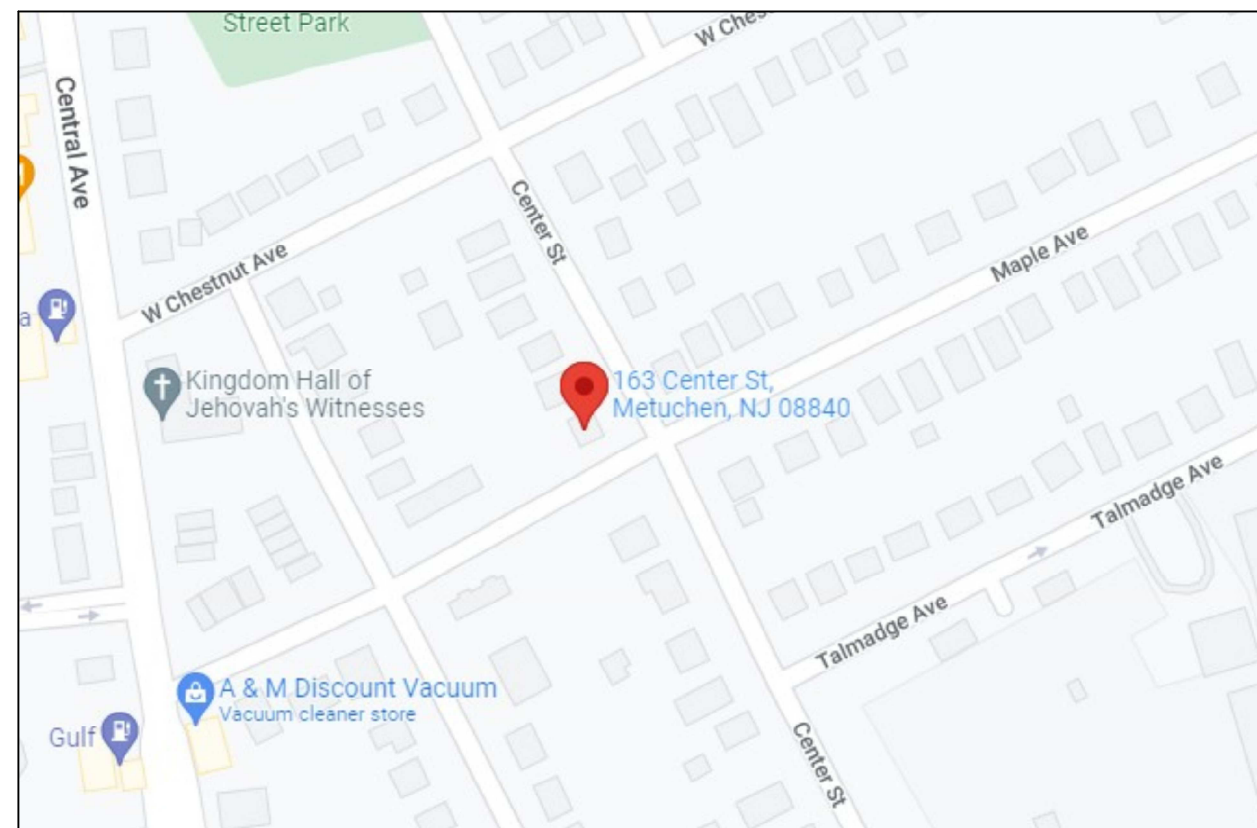
Table with 8 columns: Assembly, Gross Area of Perimeter, Cavity R-Value, Cont. R-Value, Prop. U-Factor, Req. U-Factor, Prop. UA, Req. UA. Rows include Window, Floor1, and Floor2 assemblies.

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2018 IECC requirements in REScheck Version 1.0.0.0 and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

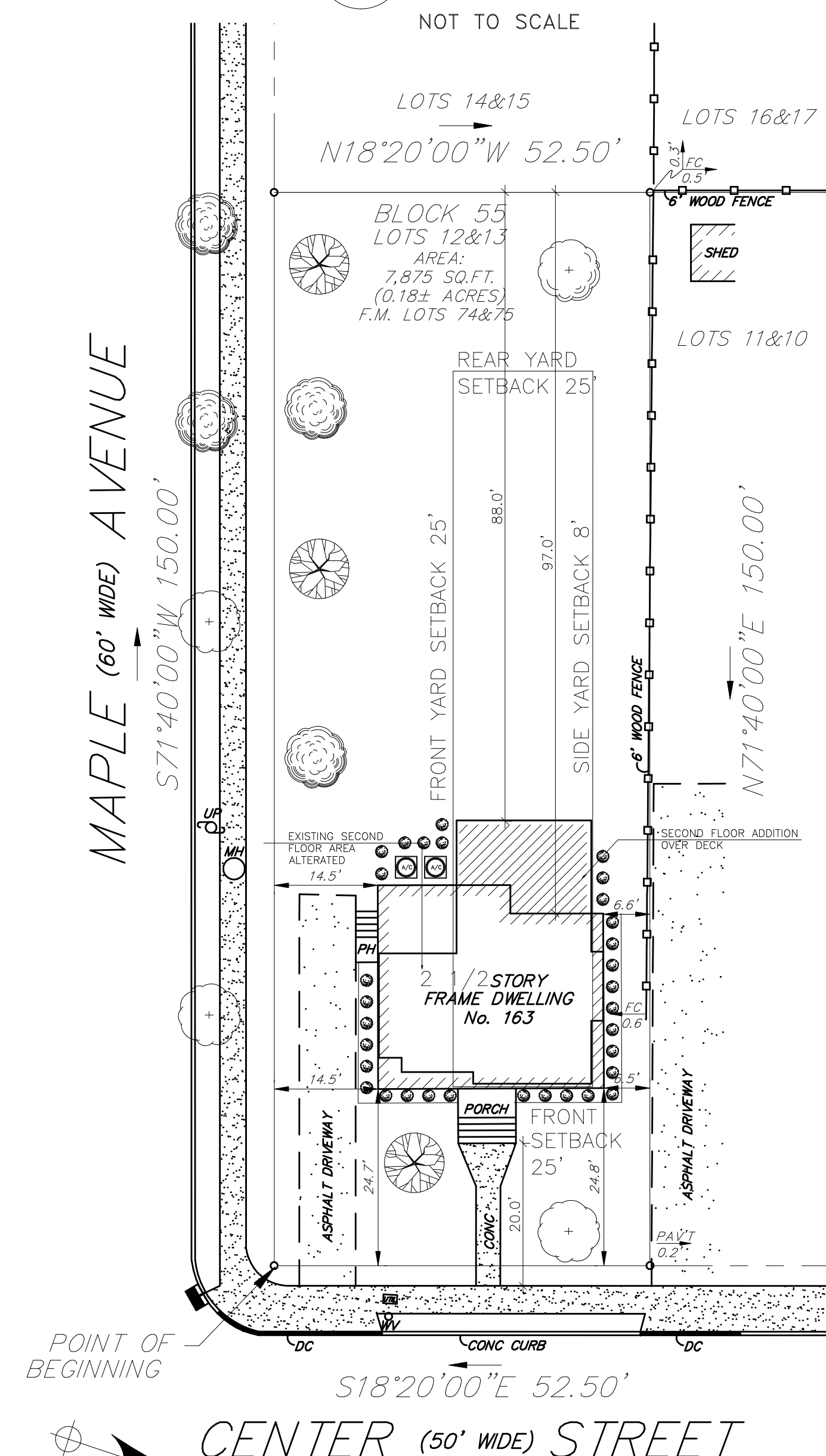
Name - Title Signature Date

Project Title: 163 Center Street Report date: 09/26/22
Data filename: Page 2 of 2

PROPOSED ADDITION AND ALTERATION
EXISTING SINGLE FAMILY HOUSE
163 CENTER STREET,
LOT#12,13, BLOCK 55
BOROUGH OF METUCHEN,
MIDDLESEX COUNTY, NJ.



KEY MAP



PLOT PLAN

SCALE 1/16"=1'-0"

FOR ILLUSTRATION ONLY
NOTE: ALL DATA AS PER SITE PLAN PREPARED BY BUTLER SURVEYING & MAPPING INC 03/18/2022

SYMBOLS & MATERIALS

Table listing symbols for walls, partitions, elevations, and materials with corresponding graphical representations.

ABBREVIATIONS

Large table of abbreviations for construction terms such as AC.T, AC., AD.J, ALUM., ANGLE, APPROX., ARCH., AD., @, BM., BET., B.P.S., BLK., B.S.&A., BOT., B.O.C., BLDG., CAP., CLNG., CEM., E., C.T., CL., C.L., C.D., C.C., C.B., COND., CONST., CONT., CONTR., CONV., C.G., ALUM., DET., DIA., DIM., DN., DWG., EA., ELEC., ENCL., ENCL., EQ., EQUIP., EST., EXIST., EXP.JT., EXT., EXT.GR., EXTR., GAL., GAUGE, GL., GYP.BD., H.P., H.M., HOR., HORIZINTAL, HOUR, ID., INSUL., INT., INSUL., INT., JOINT, JOINT, LAV., LAVATORY, LOW POINT, MACH., MACHINE, M.S., MARBLE SADDLE, MAT'L., MATERIAL, MAX., MAXIMUM, MECH., MECHANICAL, MET., METAL, MIN., MINIMUM, MISC., MISCELLANEOUS, MULL., MULLION, M.D., MASDRY OPENING, N.T.S., NOT TO SCALE, DN CENTER, DPNG., OPENING, D.P.P., OPPOSITE, D.D., OVERFLOW DRAIN, P.N., PANEL, P.H., PAPER HOLDER, PART., PARTITION, P.A., PLACE OF ASSEMBLY, PL., PLATE, U.D.N., UNLESS OTHERWISE NOTED, STRUC., STRUCTURE, SUSP., SUSPENDED, SWBD., SWITCH BOARD, SWGR., SWITCH GEAR, TEL., TELEPHONE, TK., THICK, T.O.C., TOP OF CONCRETE, T.O.S., TOP OF STEEL, T.O.V., TOP OF WALL, T.C.A.R., TOWEL CABINET & RECEPTICAL, T., TREAD, TYP., TYPICAL, V.E., VERTICAL, V.F., VERIFY IN FIELD, V.C., WATER CLOSET, V.P., WATER PROOFING, V.R., WATER RESISTANT, W., WIDTH, W/V, WITH, W/O, WITHOUT, S.T.L.S., STEEL SADDLE

STANDARDS AND GENERAL NOTES

1/01/22
CODES, REGULATIONS, PERMITS AND FEES
ALL WORK SHALL CONFORM TO THE CURRENT EDITION OF THE UNIFORM CONSTRUCTION CODE OF THE STATE OF NEW JERSEY INCLUDING ALL SUB CODES AND REFERENCED STANDARDS, UNLESS OTHERWISE INDICATED...

PRECEDENCE OF CONTRACT PROVISIONS
IF ANY CONFLICTS EXIST IN THE CONTRACT DRAWINGS THEY SHALL BE RESOLVED IN THE ORDER OF PRIORITY LISTED BELOW WITH THE HIGHEST PRIORITY LISTED FIRST ON THE LIST...

SAFETY AND DEMONSTRATION
THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES REQUIRED FOR THE SAFE EXECUTION AND COMPLETION OF THE WORK...

THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL OBTAIN AND PAY FOR WORKMANS COMPENSATION INSURANCE TO THE FULLEST EXTENT POSSIBLE...

THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROCEDURES IN CONNECTION WITH THE WORK...

DRAWING LIST

- T-1 COVER SHEET.
A-1 EXISTING BASEMENT, FIRST AND SECOND FLOORS PLANS
A-2 PROPOSED BASEMENT FLOOR PLAN, ROOF PLAN, PLUMBING AND GAS RISER DIAGRAMS
A-3 PROPOSED FIRST FLOOR AND SECOND FLOOR PLANS
A-4 PROPOSED ELEVATIONS
D-1 GENERAL DETAILS.

GENERAL DESCRIPTION OF PROJECT

PROPOSED ADDITION AND RENOVATION SINGLE FAMILY RESIDENCE

DESIGN LOADS

LIVE LOADS - ROOFS
SNOW LOAD AT SHELTERED ROOF = 50 PSF
SNOW LOAD AT SLOPED ROOFS = 30 PSF EXCEPT AS NOTED
LIVE LOADS - FLOORS
ALL AREAS NOT OTHERWISE NOTED = 40 PSF
RESIDENTIAL BALCONIES = 60 PSF
BEDROOMS = 40 PSF
WIND LOADS = 25 PSF
EARTH QUAKE LOADS = 5% OF DEAD WEIGHT

TOTAL ADDITION AREA : 516.00 S.F.
TOTAL ADDITION VOLUME : 4,490.00 C.F.

ZONING TABLE

Table with 4 columns: ITEM, PERMITTED, EXISTING, PROPOSED. Rows include MIN. LOT AREA, MIN. LOT WIDTH, MIN. LOT DEPTH, MIN. FRONT YARD, MIN. REAR YARD, MIN. SIDE YARD, MAX. BUILDING COVERAGE, MAX. LOT COVERAGE, MAX. FAR, MAX. HEIGHT OF BUILDING, MAX. STORE.

LIST OF SHOP DRAWINGS REQUIRED:

- 1) HVAC SYSTEMS:
-HVAC CONTRACTOR TO PROVIDE DESIGN AND INSTALLATION OF ENTIRE HVAC SYSTEMS.

BUILDING DATA

STATE OF NEW JERSEY, ADOPTED CODES AND STANDARDS:
- N.J.A.C. REHAB SUBCODE
- INTERNATIONAL RESIDENTIAL CODE- NJ ED, 2018.
- NATIONAL ELECTRICAL CODE, 2018 (NFPA 70).
- NATIONAL STANDARD PLUMBING CODE, 2018
- INTERNATIONAL ENERGY CONSERVATION CODE, 2018 (LOW-RISE RESIDENTIAL)
- INTERNATIONAL MECHANICAL CODE, 2018.
- INTERNATIONAL FUEL GAS CODE, 2018

- 1. NUMBER OF STORIES 2 1/2
2. BUILDING HEIGHT ±31'-3"
3. CONSTRUCTION CLASS V-B
4. USE GROUP R-5
5. NUMBER OF BEDROOMS 4

BUILDING AREA/VOLUME CALCULATIONS

Table with 3 columns: SPACE, AREA (SQ. FT.), VOLUME (CU. FT.). Rows include FIRST FLOOR LEVEL, SECOND FLOOR LEVEL, BASEMENT FLOOR LEVEL, ATTIC FLOOR LEVEL, GARAGE, TOTAL LIVING AREA, TOTAL VOLUME.

ISSUANCE:

Table with 3 columns: #, DATE, FOR. Rows include 1 04/20/22 PERMIT, 2 08/30/22 UPDATING ZONING TABLE, 3 09/23/22 UPDATING PLOT PLAN.

PROJECT NAME:

163 CENTER STREET
BLOCK 55, LOT 12,13,
BOROUGH OF METUCHEN,
MIDDLESEX COUNTY, NJ

OWNER:

DANON GROUP

RAFAEL DANON RA.
3 HIRSCHKLAU LANE,
FAIR LAWN, NJ,07410
TEL: 973-723-0039
TEL: 201-681-7777
DANONGROUP@AOL.COM

RAFAEL DANON, R.A., REGISTERED ARCHITECT

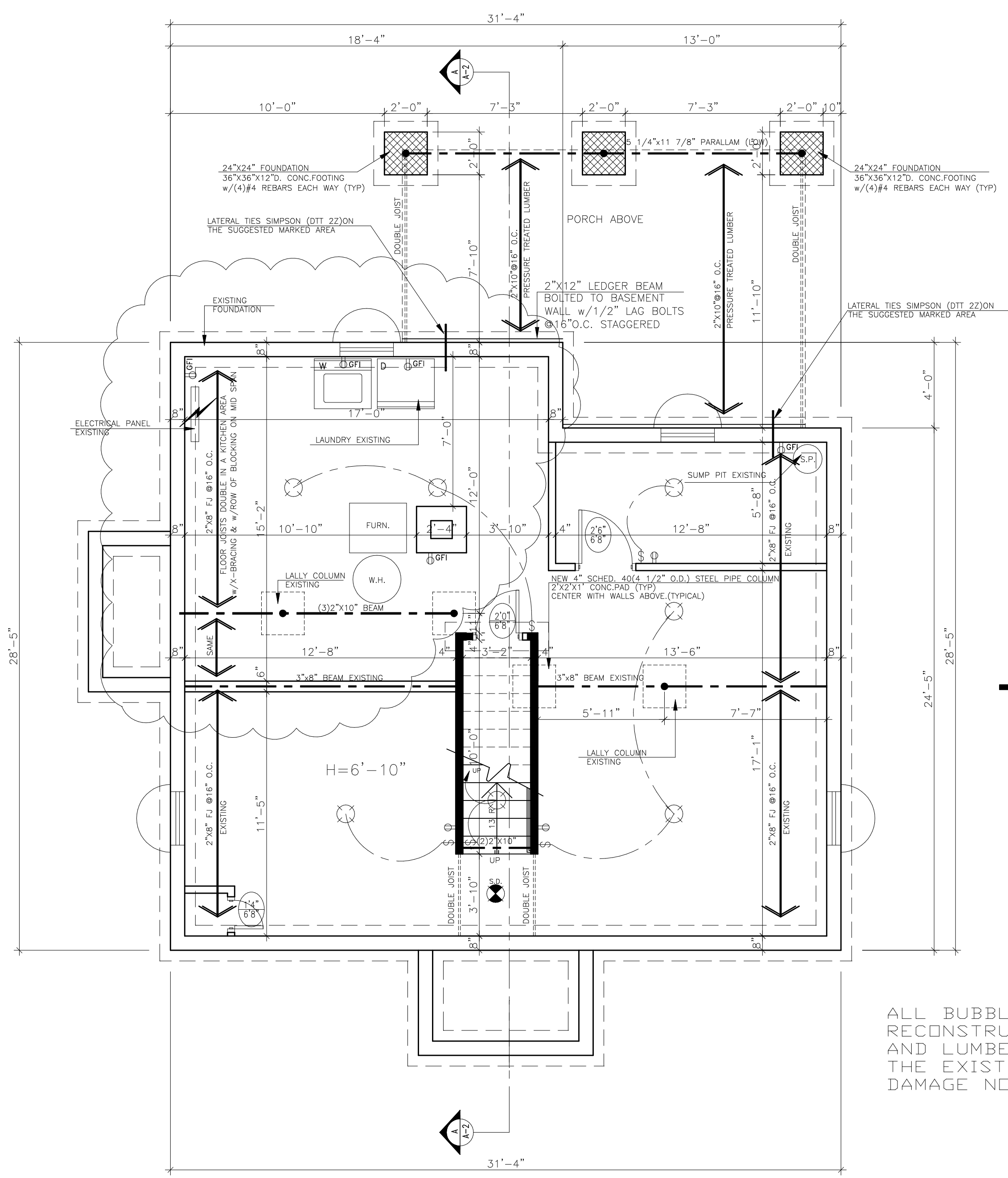
SHEET TITLE:

COVER SHEET

SCALE: AS NOTED
DRAWN BY: M.A
REVIEWED BY: R.D.

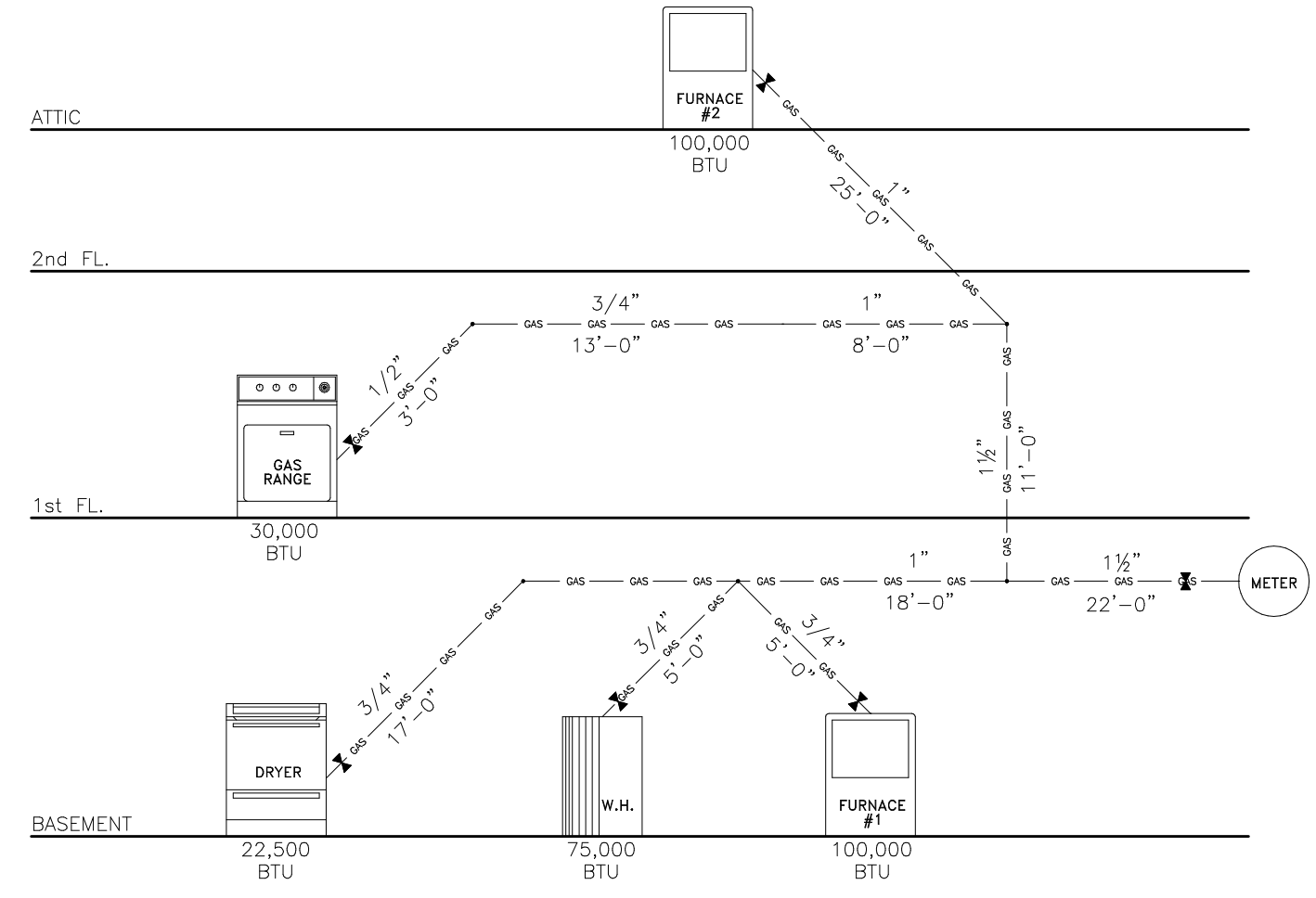
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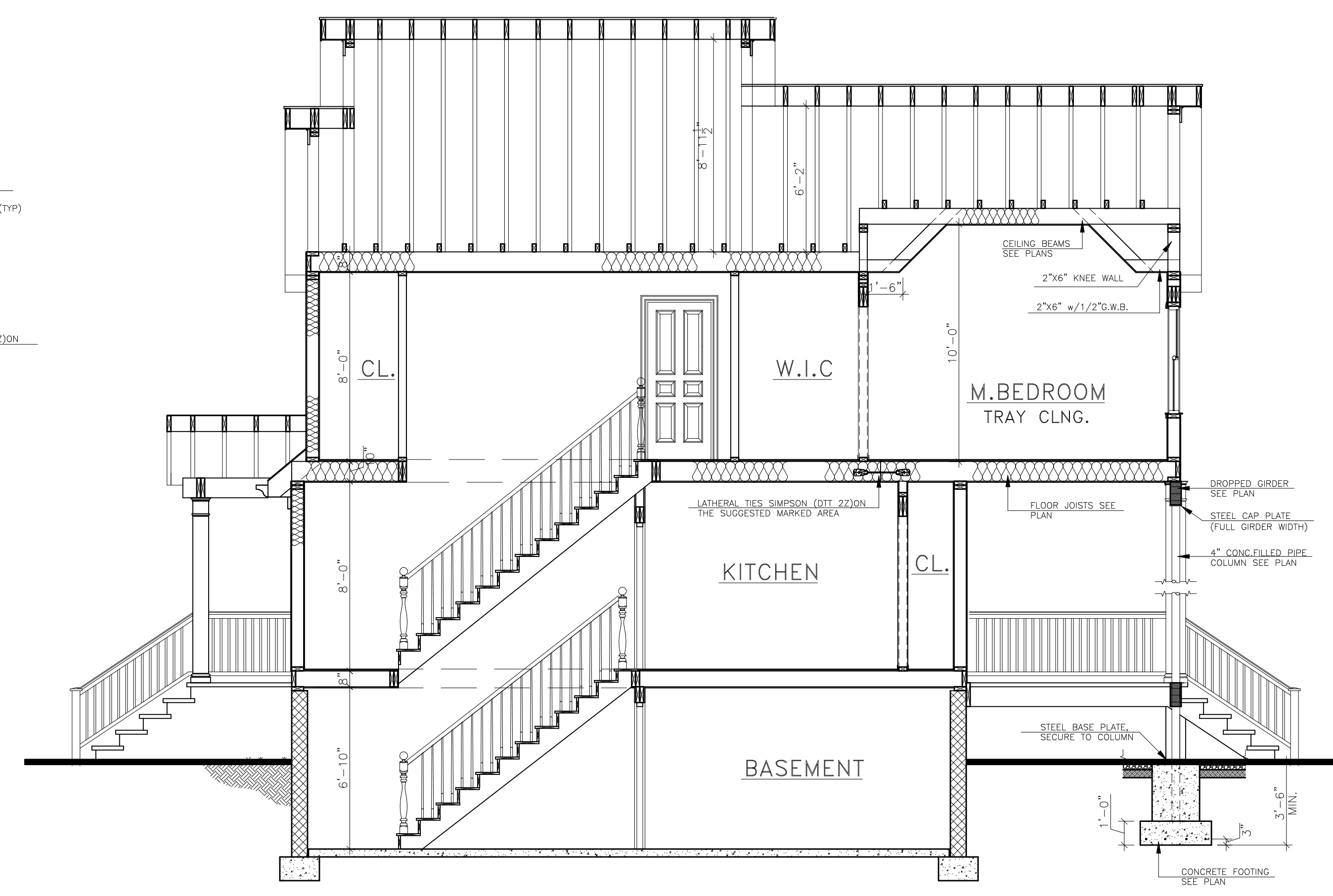
1 BASEMENT/FOUNDATION PLAN
A-2

SCALE 1/4"=1'-0" AREA - 838.00 S.F. VOLUME - 6704.00 C.F.



2 GAS RISER DIAGRAM
A-2

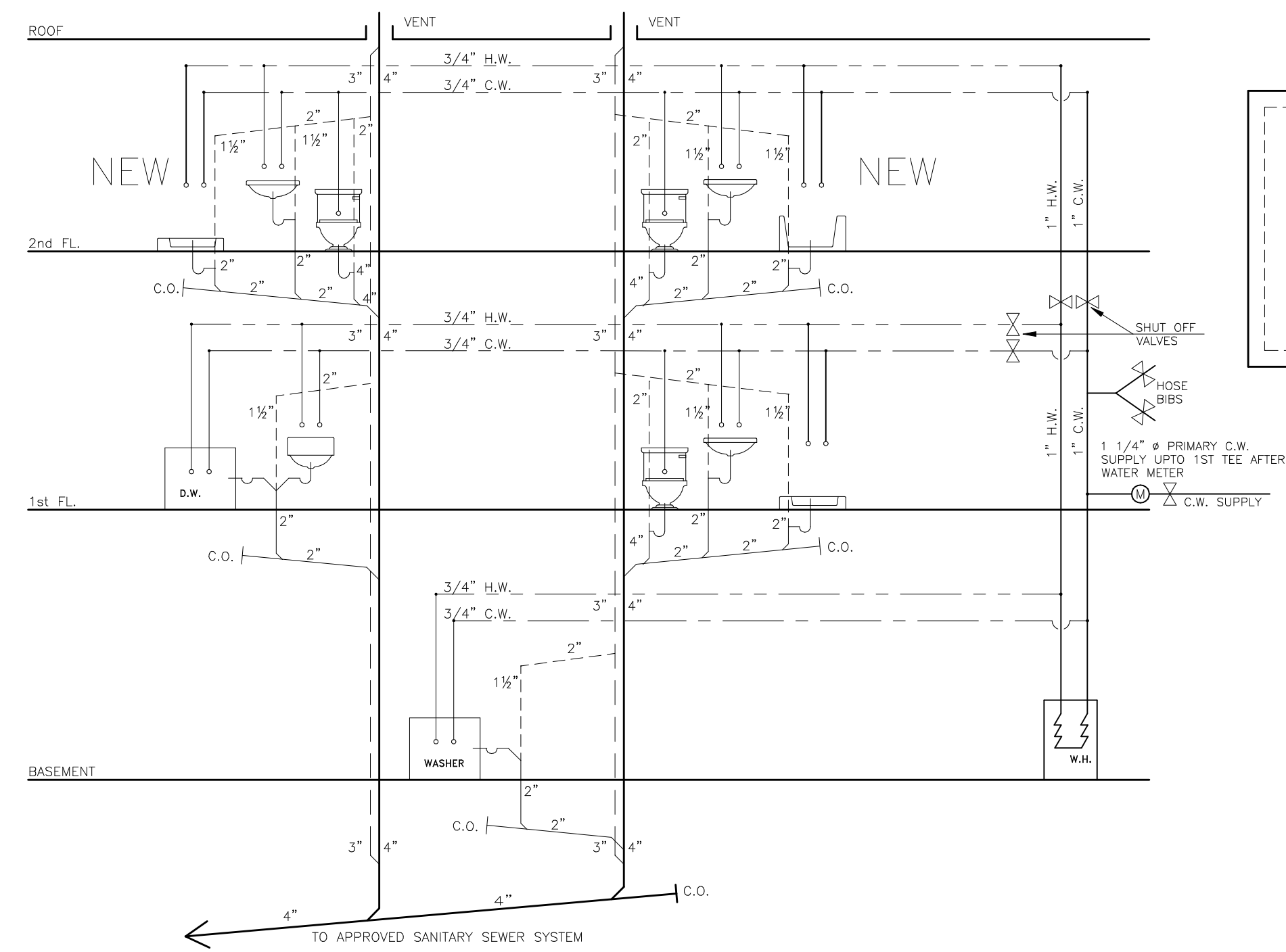
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5 SECTION A-A
A-2

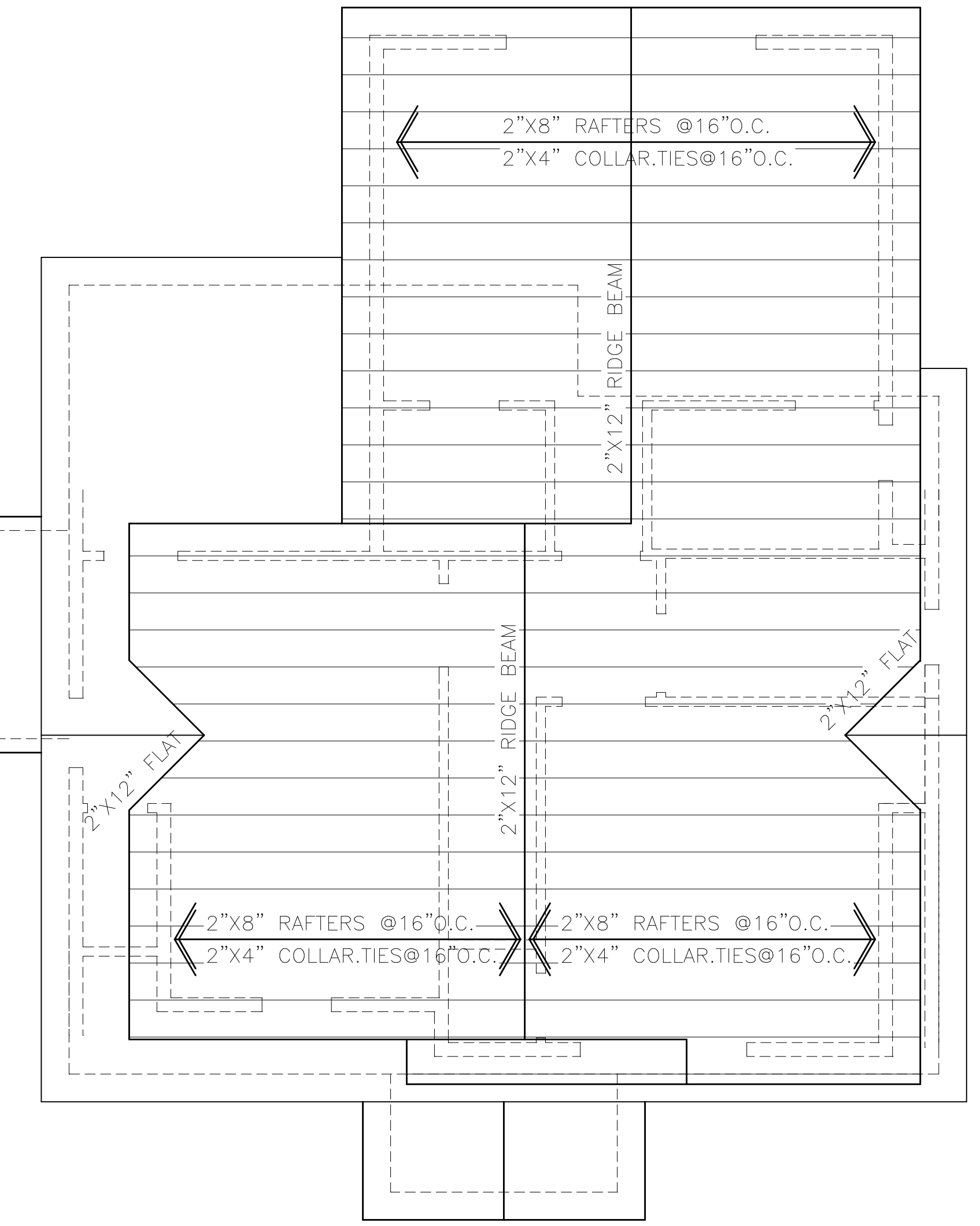
SCALE 1/4"=1'-0"

ALL BUBBLED AREAS ARE RECONSTRUCTED WITH NEW MATERIAL AND LUMBER DUE TO THE FACT THAT THE EXISTING LUMBER HAD OLD FIRE DAMAGE NOT IN GOOD CONDITION.



3 PLUMBING RISER DIAGRAM
A-2

NOT TO SCALE



4 ROOF PLAN
A-2

SCALE 1/4"=1'-0"

HURRICANE PROTECTION NOTES

1. ROOF CONSTRUCTION: ROOF RAFTERS OR TRUSSES TO BE INSTALLED AS PER THE MANUFACTURER'S RECOMMENDATIONS.
2. ROOF AT OR OVER 4:12 PITCH SHALL HAVE A FLASHING STRIP OF MINERAL SURFACED ROLL ROOFING APPLIED FROM THE EAVES TO EXTEND TO A POINT 24 INCHES (MIN) INSIDE THE INTERIOR WALL LINE. THE UNDERLAYMENT SHALL BE LAID PARALLEL TO THE EAVES WITH A 2" TOP LAP AND 4" END LAP SUFFICIENTLY TO HOLD IN PLACE.
3. ROOF UNDER 4:12 PITCH BUT AT LEAST 2:12 PITCH SHALL HAVE TWO LAYERS OF UNDERLAYMENT LAID SHINGLE FASHION PARALLEL TO THE EAVES WITH A 19" TOP LAP AND 12" END LAP, WITH END LAPS LOCATED AT LEAST 6 FEET FROM END LAPS IN THE PRECEDING COURSE, AND BLIND NAILED SUFFICIENTLY TO HOLD IN PLACE THE TWO LAYERS OF UNDERLAYMENT, FROM THE EAVES TO EXTEND TO A POINT 24"(MIN.) INSIDE THE INTERIOR WALL LINE.
4. ROOF WINDOWS AND SKYLIGHTS SHALL BE GLAZED WITH APPROVED LAMINATED GLASS OR APPROVED PLASTIC MATERIALS.
5. UNLESS OTHERWISE NOTED, FRAME OUT FOR CHIMNEYS AND ROOF WINDOWS / SKYLIGHTS WITH DOUBLE RAFTERS, IN CATHEDRAL CEILINGS, FOR VENTILATION, PROVIDE THREE ROWS OF 2" DIAMETER HOLES WITH THE CENTERLINE AT LEAST 3" FROM THE TOP OF EACH RAFTER WHILE BAY IS NOT CONTINUOUS FROM THE EXTERIOR WALL TO THE ROOF. IF APPLICABLE, THE VENTILATION HOLES SHALL BE PLACED ON BOTH SIDES OF THE OBSTRUCTION.
6. FLASHING TO BE USED AT CHIMNEYS SKYLIGHTS, STACKS, AND OTHER VERTICAL SURFACES AND INSTALLED IN ACCORDANCE WITH THE RESIDENTIAL ROOFING MANUAL.
7. VALLEY NOTE: UNLESS OTHERWISE NOTED, NO STRUCTURAL VALLEYS SHALL BE USED. VALLEYS SHALL BE FORMED BY SETTING ONE ROOF ON TOP OF ANOTHER. THE UPPER ROOF RAFTERS ARE TO BE SET ON A 2"x12" PLATE WHICH IS TO BE SET ON TOP OF THE SHEATHING OF THE LOWER ROOF AND NAILED THROUGH TO THE TOPS OF THE LOWER RAFTER. INSTALL 3/4" WIDE 50 LB. ROLL ROOFING FOR THE ENTIRE LENGTH OF THE VALLEY OVER THE UNDERLAYMENT PRIOR TO SHINGLE INSTALLATION.
8. ROOF LEADERS NOT SHOWN. LEADERS SHALL BE LOCATED IN THE FIELD, COORDINATED AND INSTALLED IN AN APPROVED MANNER BY THE CONTRACTOR PER SITE AND ORIENTATION.
9. ATTIC VENTILATION IS TO BE PROVIDED WITH SIPS OF THE REQUIRED VENTS LOCATED IN THE UPPER PORTION OF THE ATTIC (RIDGE VENTS, ROOF JACKS ETC.) AND WITH SIPS OF THE REQUIRED VENTS LOCATED IN THE LOWER PORTION (SOFFIT VENTS) OF THE ATTIC. ALL VENTS SHALL BE PROVIDED WITH INSECT SCREENS.

ELECTRIC NOTES:

FINAL LAYOUT TO BE DETERMINED BY OWNERS/BUYERS.

ALL INTERIOR WIRING TO BE COPPER ROMEX CABLE NM WITH GROUND.

ALL WIRING TO BE IN ACCORDANCE WITH N.E.C.

NUMBER OF OUTLETS ON BRANCH CIRCUITS ARE -
10 ON 15 A, 13 ON 20 A.

EXCEPT APPLIANCE CIRCUITS ARE -CS ON 20 A.

WIRING TO BE SIZED AS PER TABLE 310.16

ALL RECEPTACLES TO BE GROUNDED TYPE. BASE RECEPTACLES TO BE 1'-2" FROM FLOOR.

ALL WATER HEATERS TO BE CONNECTED IN ACCORDANCE WITH THE CONNECTING UTILITY COMPANY'S REQUIREMENTS.

SMOKE DETECTOR ALARMS AS INDICATED ON CONSTRUCTION DOCUMENTS SHALL BE AN AC PRIMARY SOURCE, CLOSED CIRCUIT TYPE AND SHALL BE ELECTRICALLY OR MECHANICALLY SUPERVISED. ALL SMOKE DETECTOR ALARMS SHALL BE INTERCONNECTED. SMOKE DETECTOR ALARMS SHALL BE PROVIDED IN EVERY BEDROOM AND AS LOCATED ON THE CONSTRUCTION DRAWINGS.

FANS IN ROOMS THAT LACK NATURAL VENTILATION SHALL BE SIZED TO EXHAUST A MINIMUM OF 2 CFM PER SQUARE FOOT OF ROOM. THE FAN IN A TOILET ROOM SHALL BE SIZED TO EXHAUST AT LEAST 70 CFM.

THE BASE UNIT POWER DENSITY (UPD) IN WATTS/SQ.FT. FOR ANY ROOM OR SPACE SHALL NOT EXCEED THE VALUES BELOW.

INDIVIDUAL ROOM/SPACE	UPD WATTS/SQ.FT.
BATH	4.3
BEDROOM	1.4
FINISHED LIVING SPACES	2.2
GARAGE	0.5
KITCHEN	4.0
LAUNDRY	1.0
UNFINISHED LIVING SPACES	0.5

THE ELECTRICAL PLAN IS BASED ON MINIMUM CODE REQUIREMENTS. THE ARCHITECT MAY BE CONSULTED FOR ADDITIONAL ELECTRICAL DESIGN AND SPECIFICATIONS.

ISSUANCE:

#	DATE	FOR:
1	04/20/22	PERMIT
2	08/30/22	UPDATING ZONING TABLE
3	09/23/22	UPDATING PLOT PLAN

PROJECT NAME:
163 CENTER STREET
BLOCK 55, LOT 12, 13,
BOROUGH OF METUCHEN,
MIDDLESEX COUNTY, NJ

OWNER:

DANON GROUP
RAFAEL DANON RA.
3 HIRSCHKLAU LANE,
FAIR LAWN, NJ, 07410
TEL: 973-723-0039
TEL: 201-681-7777
DANONGROUP@AOL.COM

RAFAEL DANON, R.A.,
REGISTERED ARCHITECT

SHEET TITLE:
FIRST FLOOR PLAN

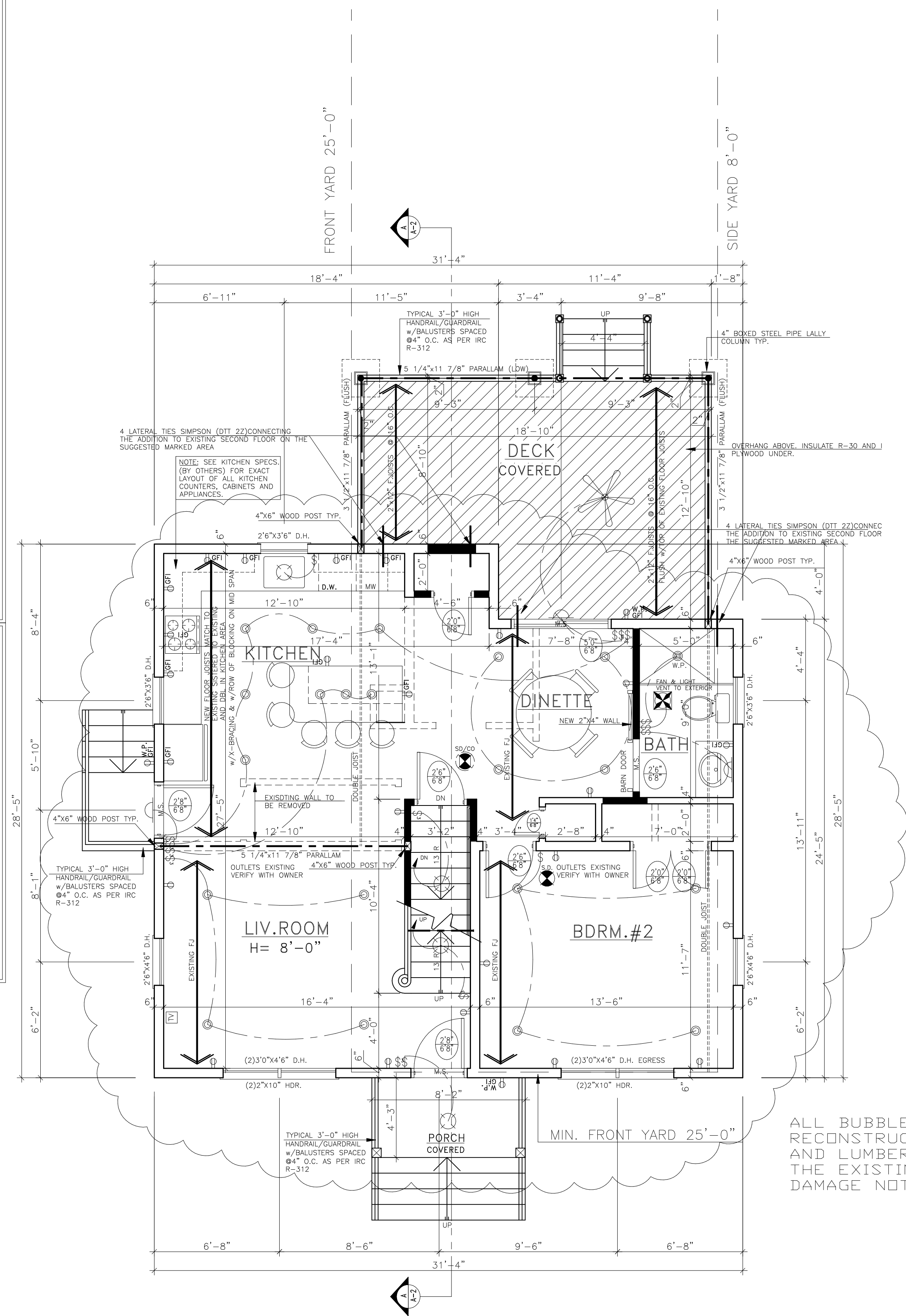
SCALE: AS NOTED
DRAWN BY: M.A.
REVIEWED BY: R.D.

A02

JOB #:
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- FRAMING NOTES:**
- ALL LUMBER, WOOD CONSTRUCTION AND FASTENING TO CONFORM TO SPECIFICATION AND CODES.
 - ALL LUMBER SHALL BE AIR DRIED (MC-15% MAX.) AND SHALL BE FREE FROM LOOSE LARGE KNOTS, EXCESS SAP OR OTHER DEFECTS WHEREBY IT'S STRENGTH MAY BE IMPAIRED.
 - SET ALL JOISTS AND BEAMS WITH NATURAL CAMBER UP. ENDS LAPPED MIN. 8" OVER BEARING SHALL BE SECURELY SPIKED TOGETHER. PROVIDE AT LEAST 1-1/2" BEARING ON ALL JOISTS.
 - EXTERIOR WALL FRAMING SHALL BE MIN. 2"x6"x16" O.C. w/DOUBLE TOP PLATES U.O.N.
 - EXTERIOR SHEATHING SHALL BE 1/2" EXTERIOR GRADE PLYWOOD SHEATHING IN 4"x8", 8" OR 10" PANELS.
 - PARTITIONS SHALL BE FRAMED WITH MIN. 2"x4"x16" O.C. HEM-FIR STUD GRADE OR BETTER.
 - PROVIDE METAL OR 5/4"x3" WOOD CROSS BRIDGING AT A MAX. OF 8'-0" O.C. AND SOLID BRIDGING AT JOIST ENDS.
 - DOUBLE FLOOR JOISTS UNDER ALL INTERIOR PARTITIONS RUNNING PARALLEL TO FRAMING.
 - PROVIDE SOLID BLOCKING UNDER ALL POINT LOADS AND COLUMNS.
 - INSTALL 1/2" CDX PLYWOOD ROOF SHEATHING (3/4" WITH 24" O.C. FRAMING), SHEATHING TO BE FIRE-RETARDANT TREATED AT 4'-0" ON EITHER SIDE OF RATED WALL ASSEMBLIES ABUTTING ROOFING.
 - UNDER FLOORING SHALL BE MIN. 1 LAYER 3/4" T&G C.D. PLYWOOD OR AS NOTED ON PLANS. GLUE ALL EDGES SUPPORTED. ALLOW MIN. 1/16" BETWEEN JOISTS AND 1/8" AT EDGES FOR EXPANSION.
 - ALL HEADERS FOR OPENINGS IN FRAME WALLS TO BE MIN. (2)2"x8" U.O.N. USE 3/8" PLY PACK-OUT TO MATCH STUD THICKNESS. MIN. BEARING TO BE 3" U.O.N.
 - ALL FRAMING EXPOSED TO MASONRY OR WEATHER TO BE PRESSURE TREATED.
 - FIRE-STOP ON WALLS 10' OR HIGHER WALLS AT MID-HEIGHT. FIRE STOP ALL VERTICAL/HORIZONTAL CONNECTIONS SUCH AS DROPPED SOFFITS AND DROPPED CEILING, AT OPENINGS ABOVE DUCTS, CHIMNEYS, VENTS AND PIPES.
 - DRAFT STOP NON-SPRINKLERED RESIDENTIAL HUNG CEILING SPACES AT 500 S.F. MAX. AND 3,000 S.F. OF ATTIC. DRAFT STOP R-1 AND R-2 ABOVE TENANT SEPARATION WALLS.
 - HIP AND VALLEY BEAMS AND RIDGES TO BE 2"x MEMBERS OF ONE SIZE LARGER THAN RAFTERS. DOUBLE UP HIP AND VALLEY RAFTERS.
 - ALL REPETITIVE MEMBER FRAMING SHALL BE 16" O.C. U.O.N.
 - PROVIDE MIN. 2"x4" COLLAR TIES @ 16" O.C. AT UPPER 1/2 OF VERTICAL DISTANCE BETWEEN ROOF BOARD AND JOISTS.
 - ADEQUATE CONNECTIONS IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND HIS SUBS.
 - INSTALL PRESSURE TREATED LUMBER WHERE LUMBER IS IN CONTACT WITH CONCRETE, SILLS AND PLATES LESS THAN 8" FROM THE GROUND, AND ALL WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING LESS THAN 6" FROM THE GROUND.

- SMOKE DETECTOR NOTES:**
- THE INSTALLATION OF WIRING AND EQUIPMENT SHALL BE IN ACCORDANCE WITH THE APPLICABLE ELECTRICAL CODE.
 - SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS:
 - ON EACH AND EVERY FLOOR LEVEL AND WITHIN PROXIMITY OF EACH SEPARATE SLEEPING AREA AND;
 - WITHIN EACH AND EVERY SLEEPING ROOM IN THE DWELLING UNITS INCLUDING ANY ENCLOSED ROOM WITH CLOSET OR EGRESS WINDOW AND;
 - IN BASEMENT AND RECREATION ROOMS.
 - EACH SMOKE DETECTOR SHALL HAVE AN INTEGRAL TEST MEANS TO PERMIT THE OCCUPANT TO CHECK THAT IT IS OPERATIONAL. A CONTINUING POWER DISPLAY INDICATOR LIGHT IS RECOMMENDED.
 - SMOKE DETECTORS SHALL BE LOCATED ON OR NEAR THE CEILING AND WITHIN 15 FEET OF ALL ROOMS USED FOR SLEEPING PURPOSES.
 - IF CEILING MOUNTED THE CLOSEST EDGE OF DETECTORS SHALL BE MIN. OF 4" FROM ANY WALL.
 - IF WALL MOUNTED, THE CLOSEST EDGE OF THE DETECTORS SHALL BE MIN. OF 4" AND MAX. OF 12" FROM THE CEILING.
 - ALL SMOKE DETECTORS SHALL BE A/C INTERCONNECTED AND SHALL BE PROVIDED WITH A BATTERY BACKUP SYSTEM IN CASE OF POWER INTERRUPTION.
 - UNITS TO BE EITHER IONIZATION CHAMBER OR PHOTOELECTRIC TYPE AND COMPLY WITH RES 17-11. UNITS TO BE APPROVED BY BOARD OF STANDARDS AND APPEALS OR BE LISTED BY AN ACCEPTED TESTING LABORATORY SUCH AS DETECTORS-ANSI/NFPA NO. 74.
 - A CERTIFICATE OF SATISFACTORY INSTALLATION MUST BE FILED WITH THE DIVISION OF CODE ENFORCEMENT TEN DAYS AFTER THE INSTALLATION OF SMOKE DETECTORS.



1 FIRST FLOOR PLAN
 A-3 PROPOSED
 SCALE 1/4"=1'-0" AREA - 838.00 S.F. VOLUME - 7542.00 C.F.
 NOTE: ELECTRICAL CONTRACTOR SHALL VERIFY EXISTING LIGHTS AND OUTLETS WITH OWNER.

- FLOOR PLAN NOTES:**
- CONSTRUCTION:
 - ALL PARTITIONS ARE 3/4" ROUGH (U.O.N.)
 - ALL ANGLED PARTITIONS ARE 45 DEGREES (U.O.N.)
 - ALL WINDOWS HEAD HEIGHTS TO BE AT 6'-8" OFF FINISHED FLOOR ELEVATION (U.O.N.)
 - ALL EXTERIOR 2"x4" WALLS ARE TO HAVE R-19 INSULATION.
 - 3/4"x4" (MIN.) POST AT EACH END OF ALL BEAMS AND OTHER TRUSSES (U.O.N.) ALL SUCH CONCENTRATED LOADS SHALL BE TRANSFERRED TO FOUNDATION VIA BEAMS, POSTS AND/OR SOLID WOOD BLOCKING.
 - ALL DIMENSIONS ARE TO FACE OF STUD (U.O.N.)
 - DOUBLE FLOOR JOISTS UNDER ALL BEARING WALLS RUNNING PARALLEL TO FRAMING, UNLESS OTHERWISE NOTED ON PLANS.
 - CEILING HEIGHTS IRC 305.1; HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS AND HABITABLE BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-0" MEASURED TO THE LOWEST PROJECTION FROM THE CEILING.
 - ATTIC ACCESS IRC 1305.1.3:
 - AN ATTIC ACCESS SHALL BE PROVIDED WHERE INDICATED, UNLESS OTHERWISE NOTED OR REQUIRED, THE OPENING SHALL NOT BE LESS THAN 20"x30"
 - ALL ATTIC ACCESS OPENINGS, OR OTHER OPENINGS INSTALLED IN TOP CEILING, SHALL BE CLOSED, GASKETED OR OTHERWISE SEALED WITH MATERIALS APPROVED FOR SUCH APPLICATIONS.
 - THE ACTUAL SIZE MAY DIFFER ACCORDING TO MANUFACTURER. THE SHOWER COMPARTMENT IS TO BE TILED TO A HEIGHT OF 6'-6" TILED FLOORS; BATH TUBS INDICATED ARE OF STANDARD SIZE. THE ACTUAL SIZE MAY DIFFER ACCORDING TO MANUFACTURE. WHERE A SHOWER HEAD IS PROVIDED, THE COMPARTMENT SHALL BE TILED TO A HEIGHT OF 6'-6". FIBERGLASS UNITS ARE OPTIONAL AND MAY BE CONSIDERED AN EXTRA.
 - BATH IN ATTIC SPACE; ATTIC SIDE OF BATH WALLS SHALL BE SHEATHED. DRAFT STOP FLOOR JOISTS UNDER BATH WALLS.
 - PROVIDE MOISTURE RESISTANT G.W.B. AROUND ALL WET AREAS IN KITCHENS AND BATHROOMS.
 - ALL WINDOWS DESIGNATIONS ARE GENERIC SIZES.
- LAUNDRY ROOM NOTES:**
- LAUNDRY ROOM: ALL LAUNDRY ROOMS SHALL BE PROVIDED WITH A LOUVERED DOOR. WHERE GAS DRYER IS USED OR THE LAUNDRY ROOM SHALL BE PROVIDED WITH (2) OPENINGS ONE WITHIN 12 INCHES OF THE BOTTOM OF THE SPACE, AND ONE WITHIN 12 INCHES OF THE TOP OF THE SPACE.

ISSUANCE:

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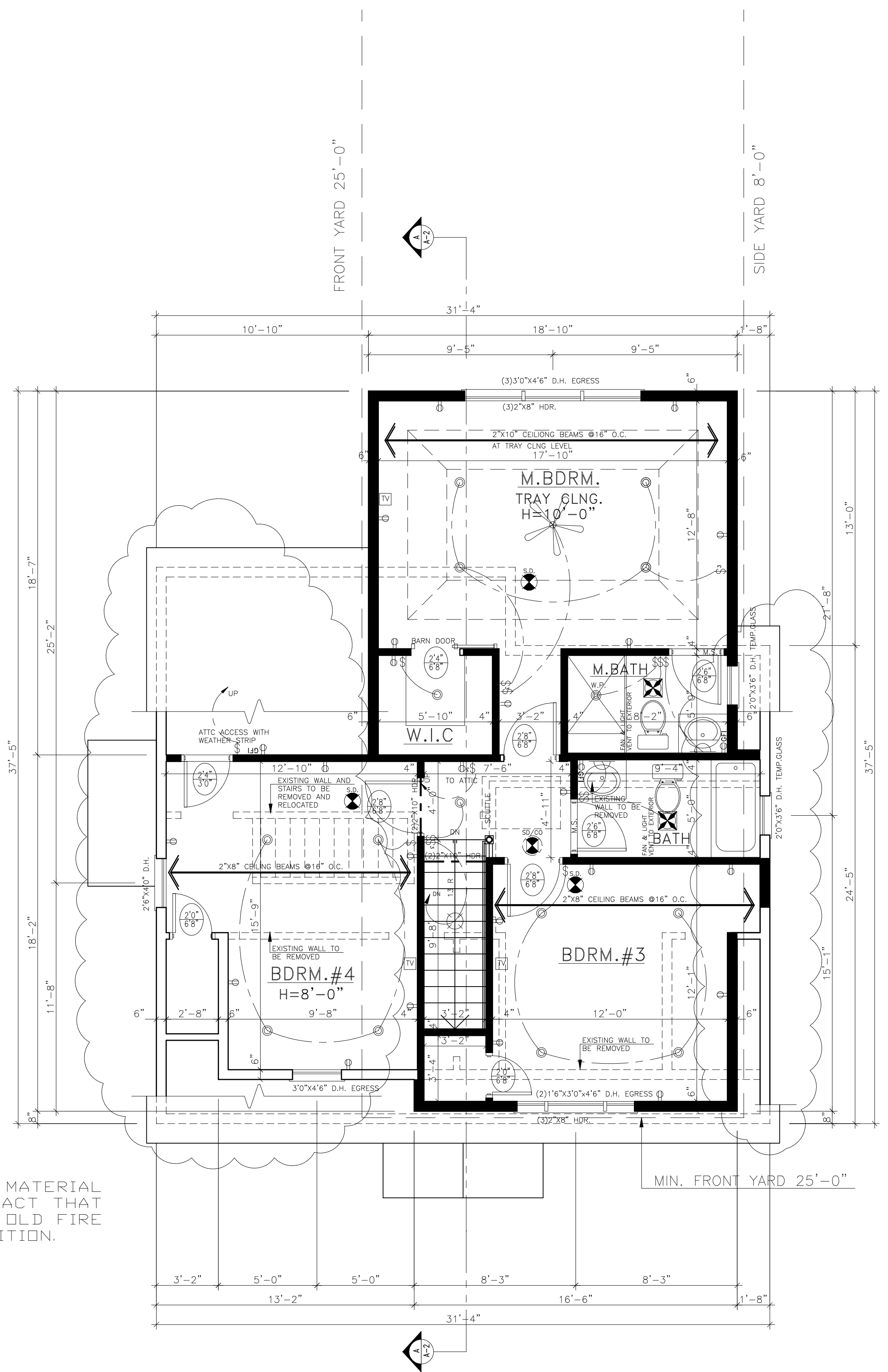
RAFAEL DANON, R.A.,
 REGISTERED ARCHITECT

SHEET TITLE:
SECOND FLOOR PLAN

SCALE: AS NOTED
 DRAWN BY: M.A
 REVIEWED BY: R.D.

A03

JOB #:
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2 SECOND FLOOR PLAN
 A-3 PROPOSED
 SCALE 1/4"=1'-0" AREA - 878.00 S.F. VOLUME - 7024.00 C.F.
 NOTE: ELECTRICAL CONTRACTOR SHALL VERIFY EXISTING LIGHTS AND OUTLETS WITH OWNER.

IN ATTIC, ELECTRICAL CONTRACTOR SHALL PROVIDE AN ELECTRICAL OUTLET, FULL COORD LIGHT FIXTURE, & AN EMERGENCY SWITCH FOR MECHANICAL EQUIPMENT.

NOTE: EVERY SLEEPING ROOM SHALL HAVE (1) MIN. OPERABLE WINDOW OR EXTERIOR DOOR OPENING APPROVED FOR EMERGENCY EGRESS. UNITS MUST BE OPERABLE FROM INSIDE TO A FULL CLEAR OPENING WITHOUT USE OF SEPARATE TOOL. EGRESS WINDOWS SHALL HAVE:

- SILL HEIGHT NOT MORE THAN 44" A.F.F.
- MIN. NET CLEAR OPENING 5.7 S.F.
- MIN. NET CLEAR OPENING HEIGHT 24"
- MIN. NET CLEAR OPENING WIDTH 20"