

APPROVED BY THE METUCHEN ZONING BOARD OF ADJUSTMENT

CHAIRMAN OF THE ZONING BOARD OF ADJUSTMENT DATE
 SECRETARY OF THE ZONING BOARD OF ADJUSTMENT DATE
 BOROUGH ENGINEER DATE

CERTIFICATION OF SITE IMPROVEMENTS IN COMPLIANCE WITH PROWAG AND ADAAG

THE UNDERSIGNED CERTIFIES THAT THE DESIGN OF PROPOSED SITE IMPROVEMENTS MEETS THE REQUIREMENTS SET FORTH IN THE US ACCESS BOARD'S PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND AMERICAN DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG).

LESLIE A. WALKER III, PE DATE 11/02/23
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NUMBER: 24G60429700

- GENERAL NOTES:**
- PROPERTY KNOWN AND DESIGNATED AS LOTS 15, 16, 17, 18.05, 40.02 & 44 IN BLOCK 118 SHOWN ON THE CURRENT TAX MAP SHEET NO. 35 OF THE BOROUGH OF METUCHEN, MIDDLESEX COUNTY, NEW JERSEY.
 - AREA OF SITE:
 LOTS 40.02 & 44 (TRACT I) - 13,190 S.F. ± (0.3028 AC. ±)
 LOTS 15, 16, 17 & 18.05 (TRACT II) - 12,613 S.F. ± (0.2896 AC. ±)
 TOTAL AREA = 25,803 S.F. ± (0.5924 AC. ±)
 - TRACT I IS SITUATED IN BOTH "R-1" (RESIDENTIAL DISTRICT) AND "B-1" (CENTRAL BUSINESS DISTRICT) AND TRACT II IS SITUATED IN "R-1" (RESIDENTIAL DISTRICT). THIS APPLICATION WILL BE DEVELOPED UNDER "R-1" (RESIDENTIAL DISTRICT).
 - TRACT I CURRENTLY HAS AN EXISTING 11,518 S.F. 3 STORY FRAME W/BRICK FACE OFFICE BUILDING WITH A MACADAM PARKING LOT. TRACT II IS CURRENTLY A STONE PARKING LOT. THE APPLICANT PROPOSES TO CONSTRUCT A 8,249 S.F. ADDITION AND CONVERT THE EXISTING 3 STORY OFFICE BUILDING INTO A 3 STORY MIX USE BUILDING WITH 23 MULTI-FAMILY UNITS & 516 S.F. OFFICE USE.

PROP. 3 STORY MIX USE BUILDING
USE FLOOR AREA CALCULATIONS:

THIRD FLOOR: 4,627 S.F. (6 UNITS-1 BR.)
 SECOND FLOOR: 5,748 S.F. (8 UNITS-1 BR.)
 FIRST FLOOR: 5,591 S.F. (6 UNITS-1 BR. & 2 UNITS-2 BR.)
 GROUND FLOOR: 3,301 S.F. (1 UNIT-3 BR. & 516 S.F. OFFICE)
 TOTAL = 19,767 S.F. G.F.A. (23 MULTI-FAMILY UNITS & 516 S.F. OFFICE)

- SURVEY REFERENCES: THE OUTBOUND & TOPOGRAPHIC SURVEY INFORMATION SHOWN ON THIS PLAN WAS PROVIDED BY THE APPLICANT AND IS BASED ON THE MAP ENTITLED, "BOUNDARY/TOPOGRAPHIC SURVEY 20 HIGHLAND AVENUE, BOROUGH OF METUCHEN, MIDDLESEX COUNTY, NEW JERSEY, BLOCK 118, LOTS 15, 16, 17, 18.05, 40.02 & 44", DATED 06/12/23, REVISED ON 06/15/23. PREPARED BY BRUNSWICK SURVEYING INCORPORATED, PISCATAWAY, NEW JERSEY 08854.
- ALL PROPOSED IMPROVEMENTS SHALL CONFORM TO THE BOROUGH OF METUCHEN STANDARDS AND SPECIFICATIONS.
- PARKING REQUIREMENTS: RESIDENTIAL PARKING, RISIS STANDARDS
 MID-RISE APARTMENT: 1 BR. (1.8 SPACES/UNIT), 2 BR. (2.0 SPACES/UNIT) AND 3 BR. (2.1 SPACES/UNIT)
 OFFICE USE: 1.0 PER 250 S.F. OF FLOOR AREA
 20 UNITS - 1 BR. X 1.8 = 36.0 SPACES
 2 UNITS - 2 BR. X 2.0 = 4.0 SPACES
 1 UNIT - 3 BR. X 2.1 = 2.1 SPACES
 516 S.F. OFFICE / 250 S.F. = 2.1 SPACES
 TOTAL REQUIRED PARKING = 44.2 = 44 SPACES
 TOTAL PROVIDED PARKING = 35 SPACES + 2 GREEN BANKED SPACES = 37 SPACES Ψ
 (EXCEPTION REQUIRED)
 EV READY STALLS (36 X 0.15 = 5.4 STALLS), 6 STALLS PROPOSED
 ONE-THIRD MINIMUM TO BE INSTALLED AS EVSE ACTIVE (6 X 0.33 = 1.98 ROUNDED TO 2 STALLS MIN.)
 10% MAXIMUM CREDIT FOR EVSE/MAKE-READY (44 X 0.10 = 4.4 STALLS CREDIT)
 35 PROVIDED + 2 GREEN BANKED + 4.4 EVSE CREDIT = 41.4 PROVIDED
 THEREFORE 44 SPACES REQUIRED - 41 PROVIDED = 3 DEFICIENT SPACES.

- ADA PARKING REQUIREMENTS: ADA SPACES REQUIRED (28-50 SPACES) = 2 (1 VAN ACCESSIBLE)
 ADA SPACES PROVIDED = 3 (1 VAN ACCESSIBLE, 1 REGULAR, 1 EVSE)
- BICYCLE PARKING AS RECOMMENDED BY THE BOROUGH PLANNER: BICYCLE PARKING PROVIDED = 1 PER APARTMENT = 23
 BICYCLE PARKING PROVIDED = 23 - BIKE RACK (2 BIKES) OUTSIDE PLUS 21 INSIDE (BIKE ROOM ON GROUND FLOOR PLUS HOOKS IN APARTMENTS, REFER TO ARCHITECT'S PLAN)

OWNER/APPLICANT:

OWNER: CYDANA LLC 20 HIGHLAND AVENUE METUCHEN, NJ 08840	APPLICANT: 51 HOLLY RD. ASSOCIATES, LLC JAMIE GORDON P.O. BOX 476 METUCHEN, NJ 08840 732-709-8297
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PROPERTY OWNERS WITHIN 200 FT. SCALE: 1"=60'

Property ID (Block, Lot)	Property Location	Owner Name & Address	Property ID (Block, Lot)	Property Location	Owner Name & Address
130.20	80 Robins Place	Joseph D. Roberts & Meghan Zimowski	118.62	89 Robins Place	Cheryl Orsini
130.19	58 Robins Place	60 Robins Place Metuchen, NJ 08840	118.64	65 Robins Place	Metuchen, NJ 08840
130.10	74 Robins Place	Daniel R. Susanna, L. One 58 Robins Place Metuchen, NJ 08840	118.65	78 Robins Place	Metuchen, NJ 08840
118.18.04	Inn Place	General & Shirley D. Windsor 74 Robins Place Metuchen, NJ 08840	118.67	90 Highland Avenue	Christoph & Diane R. Battaglia 78 Robins Place Metuchen, NJ 08840
118.14.01	Metuchen Borough	Metuchen Borough	118.68	607 Highland Avenue	Ryann L. & Kathleen, Thomas F. Grant 30 Highland Avenue Metuchen, NJ 08840
118.14.02	85 Robins Place	Cesar & Corazon Del Rosario 85 Robins Place Metuchen, NJ 08840	118.69	607 Middlesex Avenue	Geoffrey & Nina Peveren 93 Highland Avenue Metuchen, NJ 08840
118.13.01	Metuchen Borough	Metuchen Borough	118.70	608 Middlesex Avenue	Metuchen Borough
118.13.02	85 Robins Place	Cesar & Corazon Del Rosario 85 Robins Place Metuchen, NJ 08840	118.71	609 Middlesex Avenue	Metuchen Borough
118.12	62 Inn Place	Cesar & Corazon Del Rosario 62 Inn Place Metuchen, NJ 08840	118.72	609 Middlesex Avenue	Metuchen Borough
118.11	29 Hillside Avenue	V & L LLC 29 Hillside Avenue Metuchen, NJ 08840	118.73	491 Middlesex Avenue	Metuchen, NJ 08840
118.9	81 Hillside Avenue	Helen M. Fierco 81 Hillside Avenue Metuchen, NJ 08840	118.74	491 Middlesex Avenue	Metuchen, NJ 08840
118.7	89 Hillside Avenue	Mitsuko I. Thornton 89 Hillside Avenue Metuchen, NJ 08840	118.75	491 Middlesex Avenue	Metuchen, NJ 08840
118.5	85 Hillside Avenue	Josée C. Digiammo 85 Hillside Avenue Metuchen, NJ 08840	118.76	491 Middlesex Avenue	Metuchen, NJ 08840
118.3	49 Robins Place	Sen. Ronald Winand L. Sen. Sujin 49 Robins Place Metuchen, NJ 08840	118.77	491 Middlesex Avenue	Metuchen, NJ 08840
118.1	45 Robins Place	Fred A. Abbott 45 Robins Place Metuchen, NJ 08840	118.78	491 Middlesex Avenue	Metuchen, NJ 08840
118.00.02	85 Robins Place	Cesar & Corazon Del Rosario 85 Robins Place Metuchen, NJ 08840	118.79	491 Middlesex Avenue	Metuchen, NJ 08840
118.00.01	85 Robins Place	Cesar & Corazon Del Rosario 85 Robins Place Metuchen, NJ 08840	118.80	491 Middlesex Avenue	Metuchen, NJ 08840
118.04	85 Robins Place	Cesar & Corazon Del Rosario 85 Robins Place Metuchen, NJ 08840			

UTILITIES LIST:

P.E. & G. Co. Manager-Corporate Properties 80 Park Plaza, 16B Newark, NJ 07102	Elizabeth Gas Co. 81 Elizabeth Plaza P.O. Box 3174 Union, NJ 07083	Texas Eastern Transmission Corp. 501 Coeldge Street North Plainfield, NJ 07089	Middlesex Water Co. 485 Rt 1 S., Bldg C, 4th Flr. Iselin, NJ 08830
Con Edison Cablevision of Raritan Valley 275 Centennial Avenue CN 688 Piscataway, NJ 08855 Attn: Margurite Perdrevice Construction Department	Buckeye Pipeline P.O. Box 368 Emmaus, PA 18049	New Jersey Bell Telephone Co. 540 Broad St. - Room 365 Newark, NJ 07101	Parking Authority 500 Main Street Metuchen, NJ 08840

Middlesex County Planning Board
Middlesex County Administration Building
CN 613
75 Hayward Street, 5th Floor
New Brunswick, NJ 08901

Dept. of Transportation
1035 PARKWAY AVENUE
TRENTON, NJ 08625

Freehold Soil Conservation District
4000 Koszki Road
P.O. Box 9033
Freehold, NJ 07728-5033

INDEX OF DRAWINGS

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BULK REQUIREMENTS FOR "R-1" (RESIDENTIAL DISTRICT)

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA:	10,000 SF	13,190 SF	13,190 SF
MINIMUM LOT WIDTH:	75 FT	12,613 SF	12,613 SF
MINIMUM LOT DEPTH:	100 FT	87.27 FT	87.27 FT
MINIMUM FRONT YARD SETBACK:	TRACT I TRACT II	100 FT	150 FT
MINIMUM ONE SIDE YARD SETBACK:	TRACT I TRACT II	127.76 FT	127.76 FT
MINIMUM BOTH SIDE YARD SETBACKS:	TRACT I TRACT II	10 FT	10 FT
MINIMUM REAR YARD SETBACK:	TRACT I TRACT II	20 FT	43.1 FT
MAXIMUM BUILDING COVERAGE:	TRACT I TRACT II	25 FT	51.3 FT
MAXIMUM IMPERVIOUS COVERAGE:	TRACT I TRACT II	30% (3,896 SF±)	29.5% (3,896 SF±)
MAXIMUM BUILDING HEIGHT:	TRACT I TRACT II	35 FT/3 STY	34.44 FT/3 STY

* THE PREVAILING SETBACK (FOR TRACT I) CONSIDERS THE IMMEDIATE ADJACENT LOTS ON EITHER SIDE OF THE TRACT (LOTS 46 AND 40.01). LOT 46 IS 24 HIGHLAND AVENUE CONTAINING A DWELLING AND LOT 40.01 IS PART OF ANOTHER LOT BUT HAS NO BUILDING. AS SUCH, THE AVERAGE SETBACK IS CALCULATED AS ONLY 24 HIGHLAND AVENUE SINCE THE OTHER LOT HAS NO BUILDING, WHICH MEANS THE PREVAILING FRONT YARD SETBACK IS 30 FEET.

(E) - EXISTING NON CONFORMING
(V) - PROPOSED VARIANCE
N/A - NOT APPLICABLE

200 FT. RADIUS MAP & EXISTING CONDITIONS MAP
 GRAPHIC SCALE 1" = 20'

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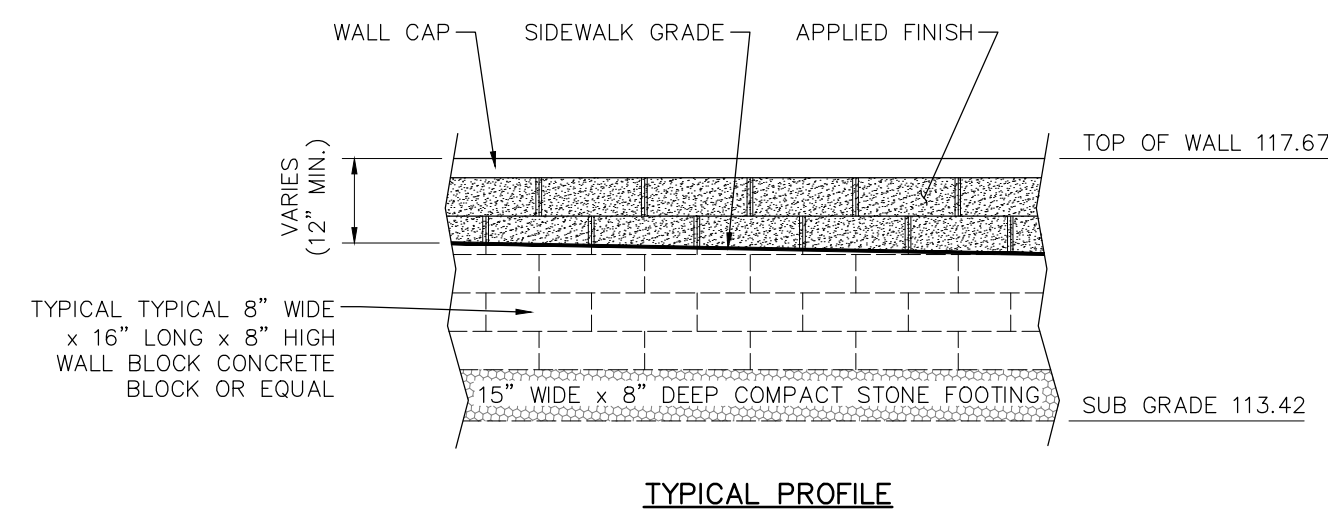
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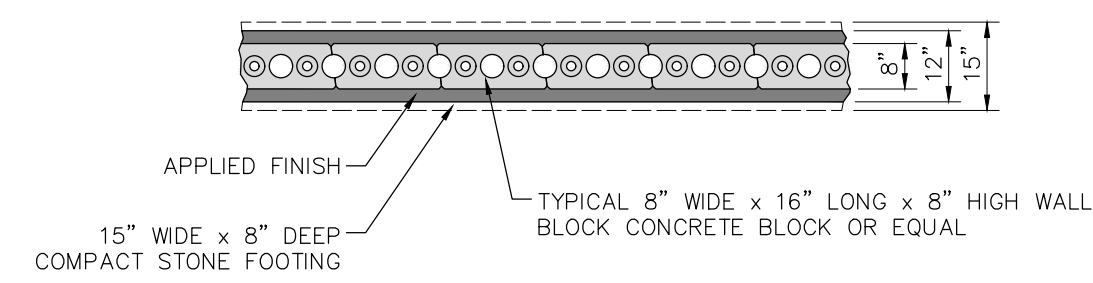
1199 AMBOY AVENUE, SUITE 10
 EDISON, NEW JERSEY 08837
 PHONE: (732) 205-8288 • FAX: (732) 719-7208
 www.meridianeng.com • info@meridianeng.com

PREPARED FOR:
 MIXED USE
 LOTS 15-17, 18.05, 40.02 & 44 IN BLOCK 118
 20 HIGHLAND AVENUE
 SITUATED IN:
 BOROUGH OF METUCHEN
 MIDDLESEX COUNTY, NEW JERSEY

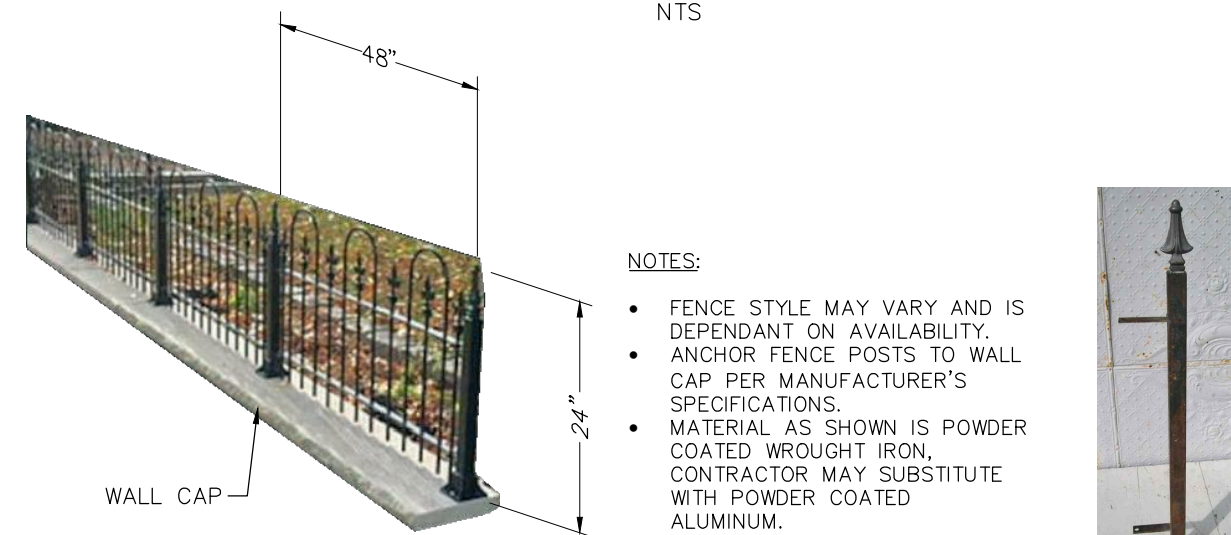
DATE: 11/02/23
LESLIE A. WALKER III, PE DATE
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NUMBER: 24G60429700



TYPICAL PROFILE



TOP VIEW
PROPOSED DECORATIVE TWO-SIDED BLOCK WALL
N.T.S.

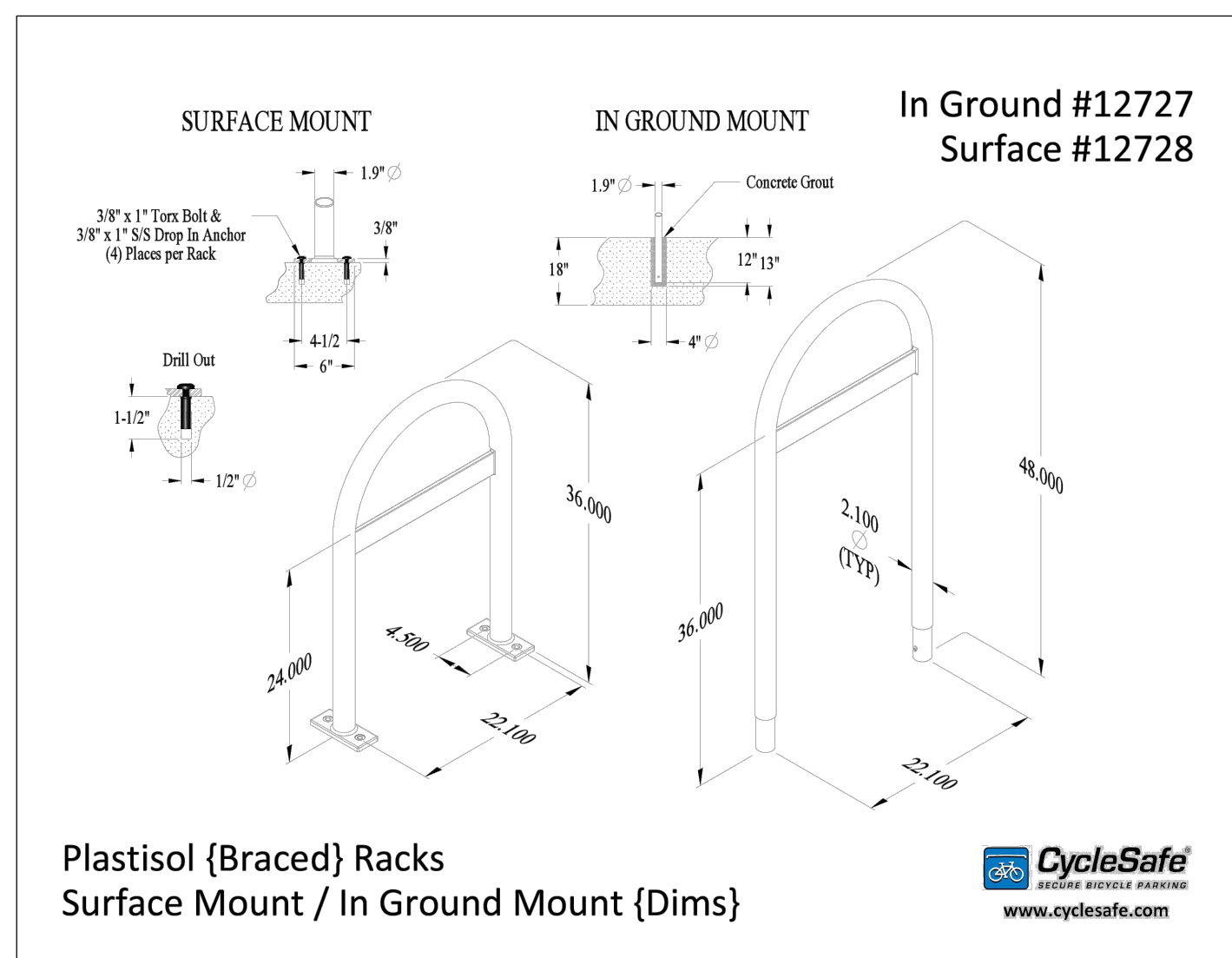


PROPOSED 24" HIGH DECORATIVE METAL WALL FENCE
N.T.S.

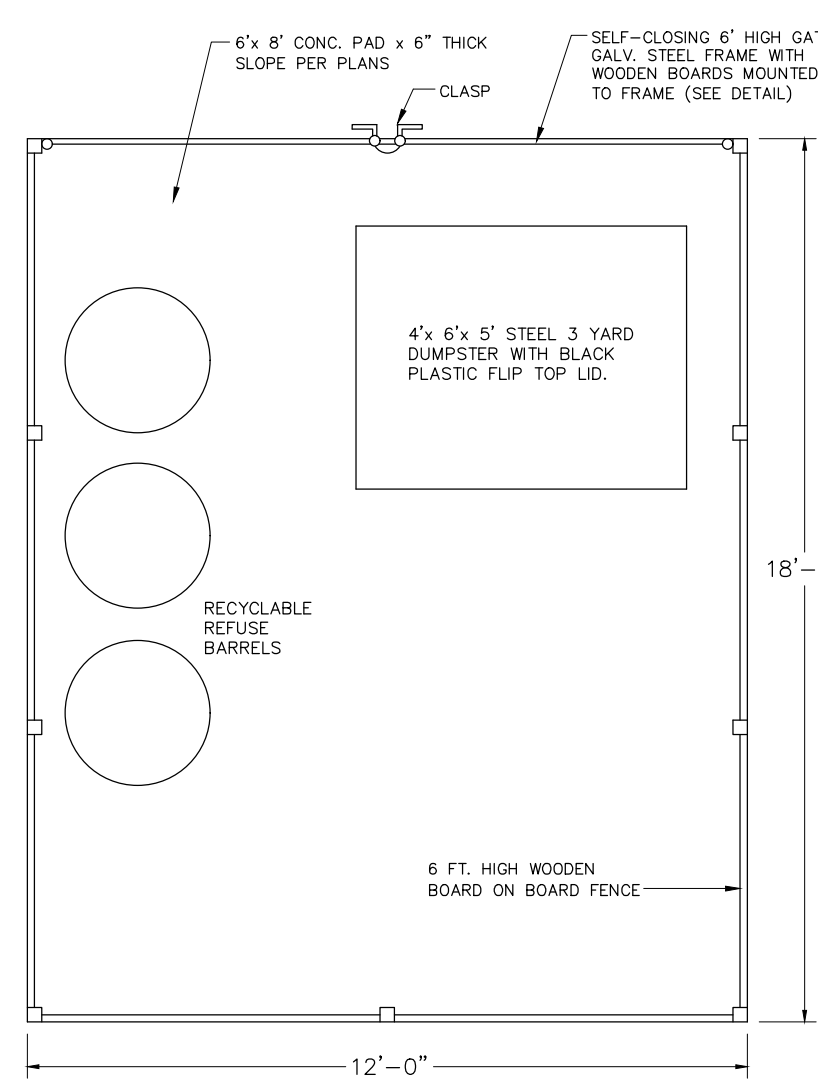
- NOTES:
- FENCE STYLE MAY VARY AND IS DEPENDANT ON AVAILABILITY, AND ANCHOR FENCE POSTS TO WALL CAP PER MANUFACTURER'S SPECIFICATIONS.
 - MATERIAL AS SHOWN IS POWDER COATED WROUGHT IRON, CONTRACTOR MAY SUBSTITUTE WITH POWDER COATED ALUMINUM.



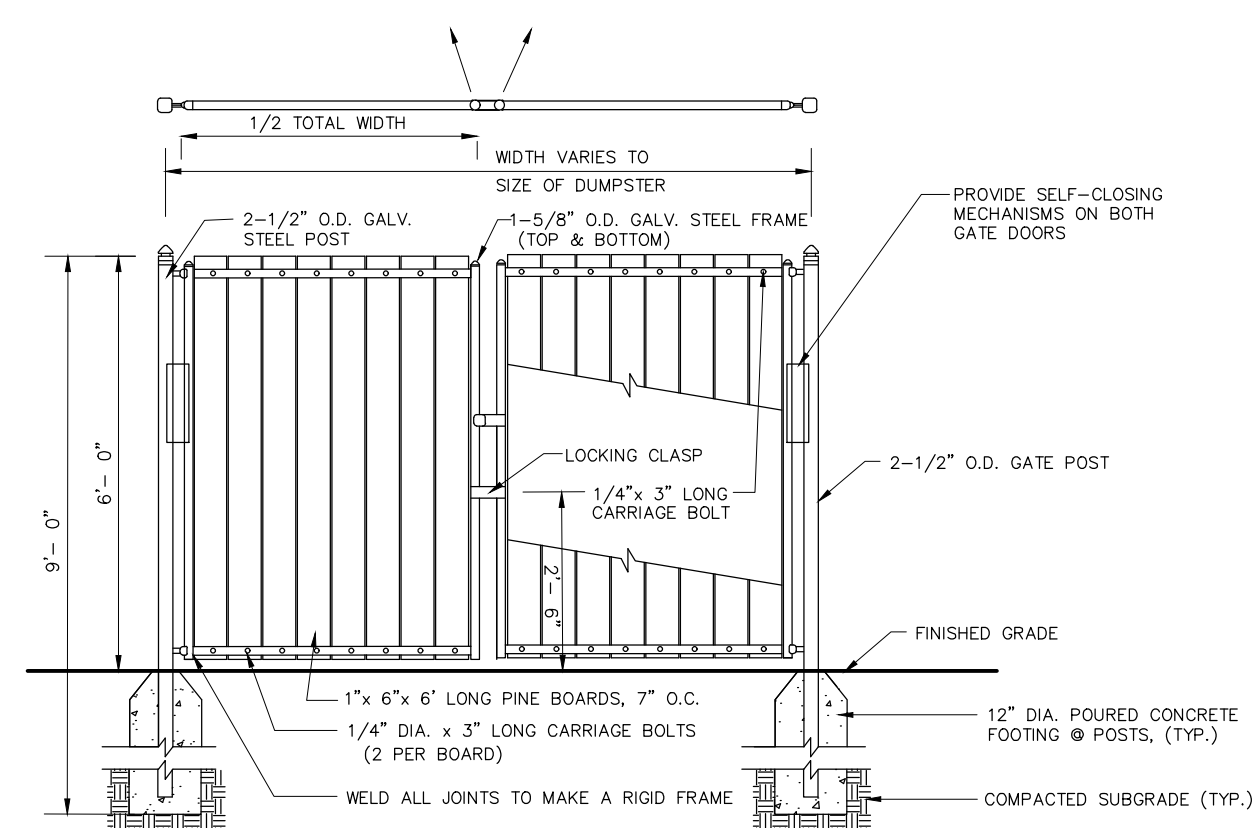
END POST



BIKE RACK - IN GROUND MOUNT #12727
BIKE U RACK WITH CROSSBAR, IN BLACK (POWDER COAT)
N.T.S.



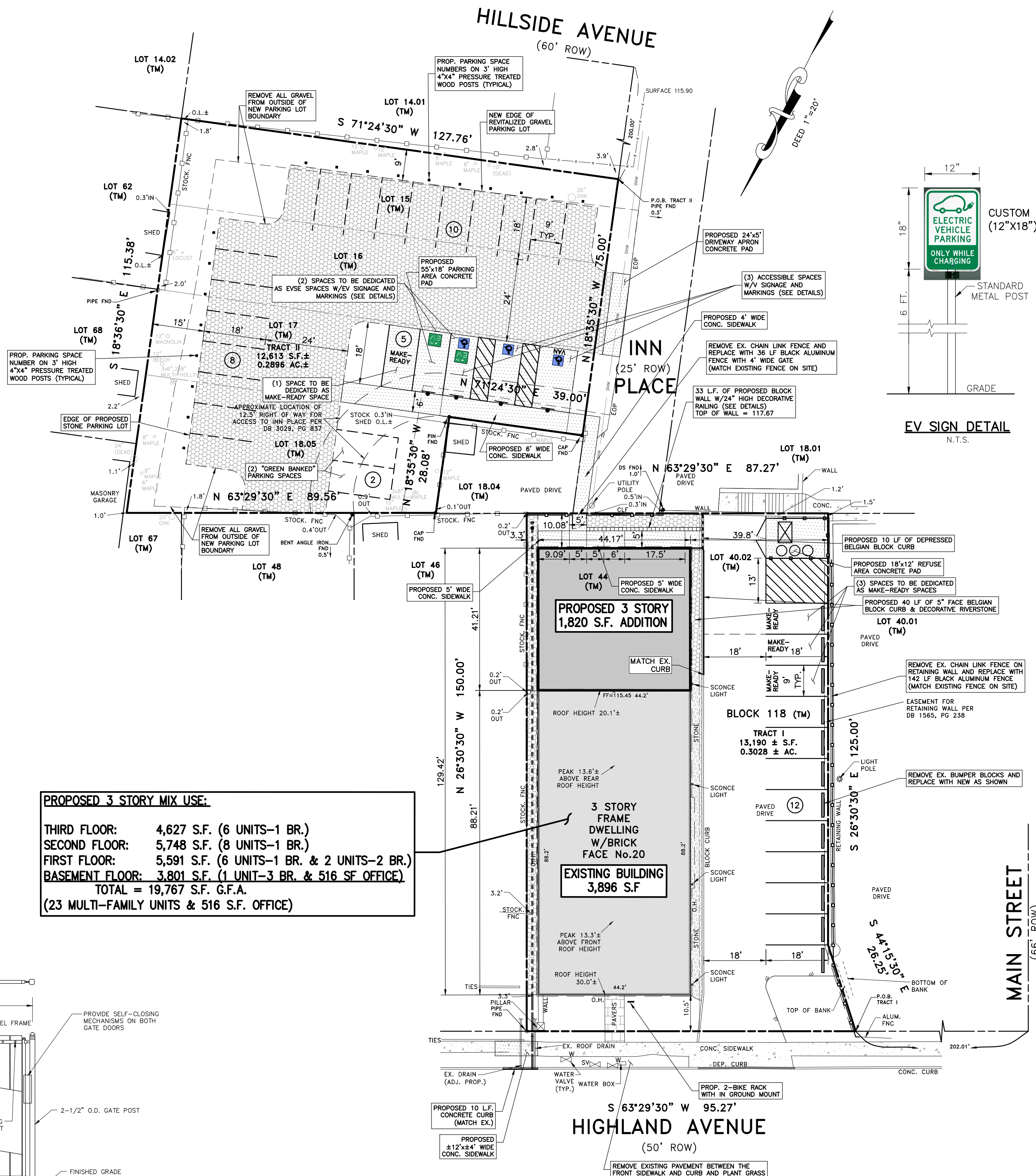
18' x 12' ENCLOSURE AREA DETAIL
N.T.S.



REFUSE AREA GATE DETAIL
N.T.S.

PROPOSED 3 STORY MIX USE:

THIRD FLOOR: 4,627 S.F. (6 UNITS-1 BR.)
SECOND FLOOR: 5,748 S.F. (8 UNITS-1 BR.)
FIRST FLOOR: 5,591 S.F. (6 UNITS-3 BR. & 2 UNITS-2 BR.)
BASEMENT FLOOR: 3,801 S.F. (1 UNIT-3 BR. & 516 SF OFFICE)
TOTAL = 19,767 S.F. G.F.A.
(23 MULTI-FAMILY UNITS & 516 S.F. OFFICE)

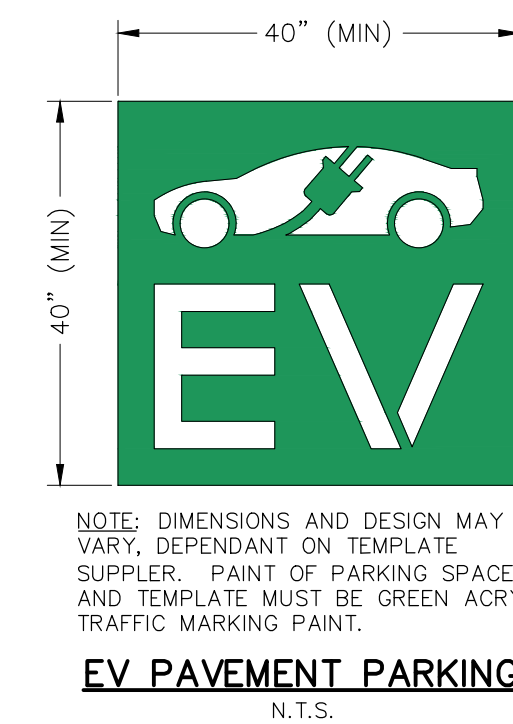
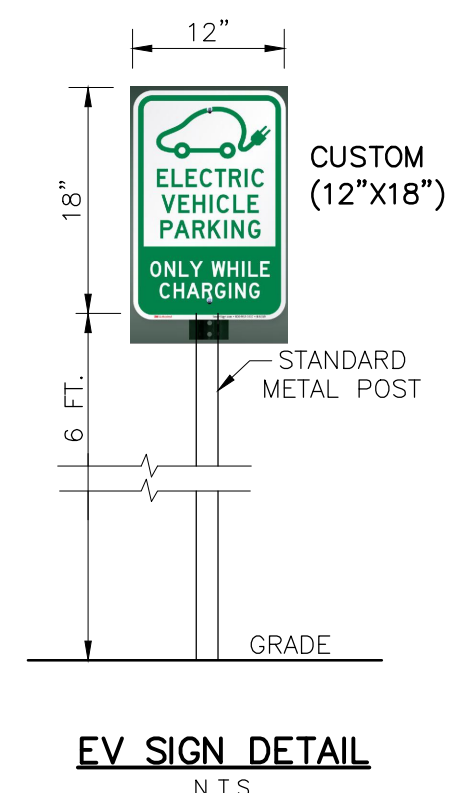


TYPICAL PARKING STRIPING DETAIL
N.T.S.

TYPICAL ACCESSIBLE PARKING SPACE STRIPING DETAIL
N.T.S.

DETAIL OF CONCRETE BOLLARD STANDARD ACCESSIBLE SIGN POST
N.T.S.

DETAIL OF CONCRETE BOLLARD VAN ACCESSIBLE SIGN POST
N.T.S.

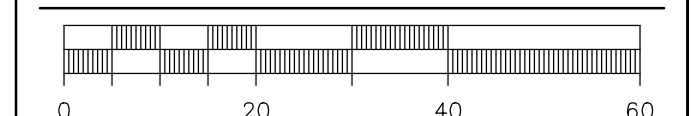


NOTE: DIMENSIONS AND DESIGN MAY VARY, DEPENDANT ON TEMPLATE SUPPLIER. PAINT OF PARKING SPACE(S) AND TEMPLATE MUST BE GREEN ACRYLIC TRAFFIC MARKING PAINT.

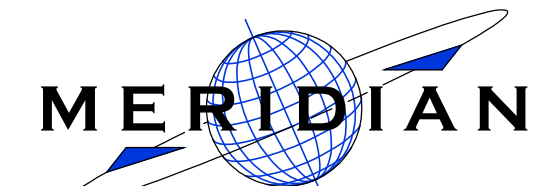
REV.	DESCRIPTION	DATE	BY
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DIMENSIONING PLAN & DETAILS

GRAPHIC SCALE 1" = 20'



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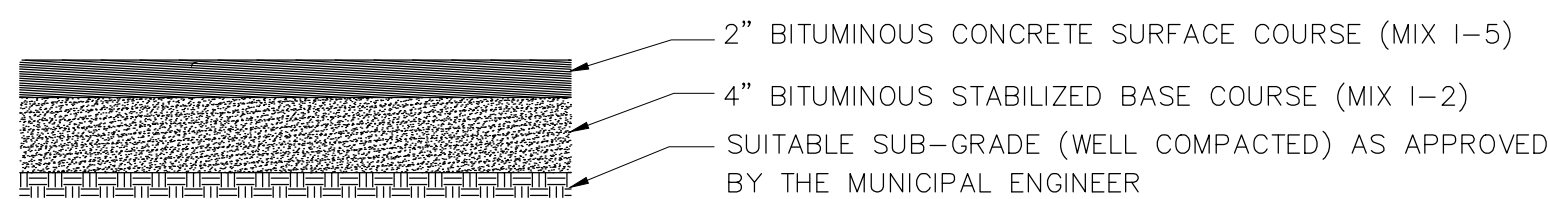
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SITE PLAN
PREPARED FOR:
MIXED USE
LOTS 15-17, 18.05, 40.02 & 44 IN BLOCK 118
20 HIGHLAND AVENUE
SITUATED IN:
BOROUGH OF METUCHEN
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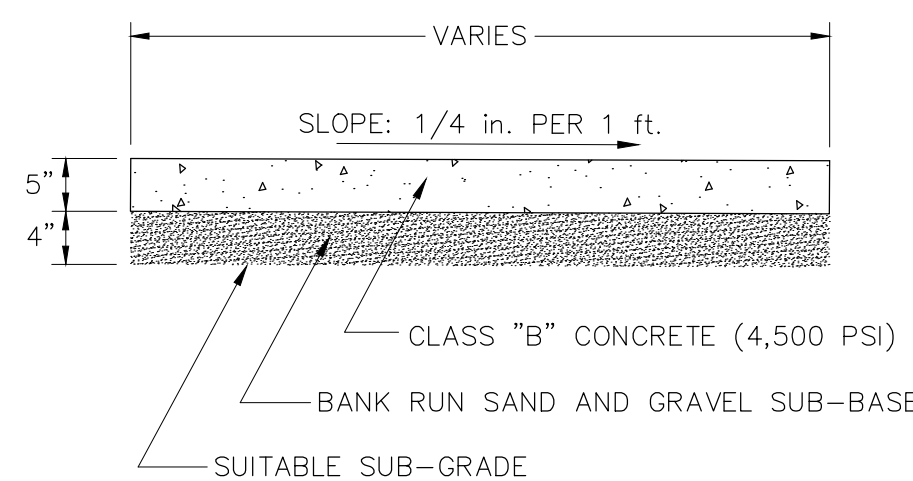
CAD:	46-65	DATE:	10/18/23	SCALE:	1" = 20'
FILE:	046.0065	DRAWN:	DSA	SHEET:	2 OF 6

Leslie A. Walker III
LESLIE A. WALKER III, PE DATE
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NUMBER: 24GE04729700

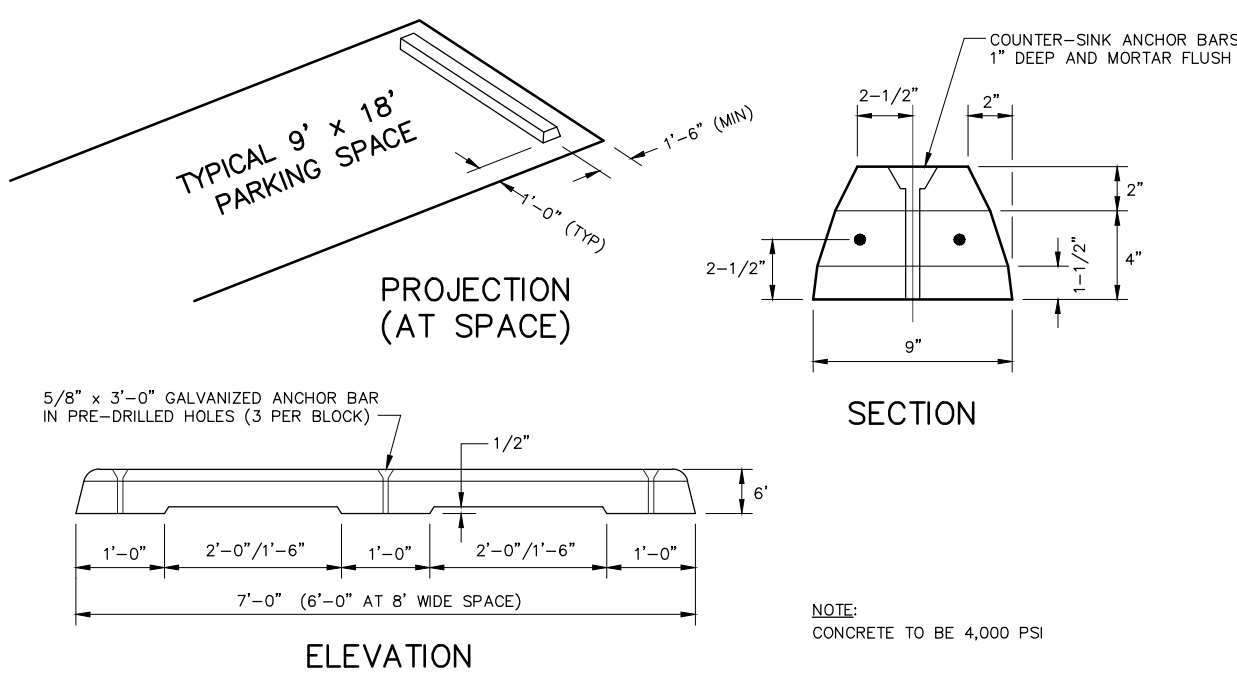


NOTE:
REPLACEMENT OF EXISTING SURFACES OTHER THAN CONCRETE OR BITUMINOUS PAVEMENT WILL BE AS DIRECTED BY THE MUNICIPAL ENGINEER.

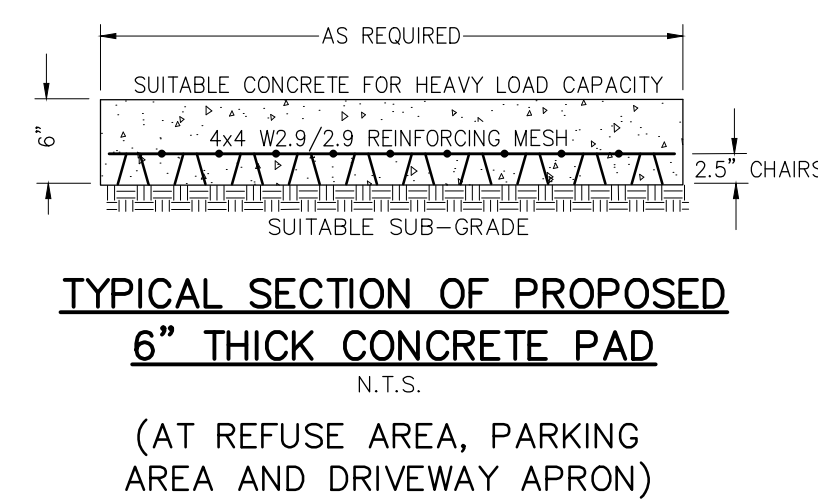
TYPICAL PARKING AREA PAVEMENT DETAIL
NOT TO SCALE



TYPICAL SIDEWALK DETAIL
N.T.S.



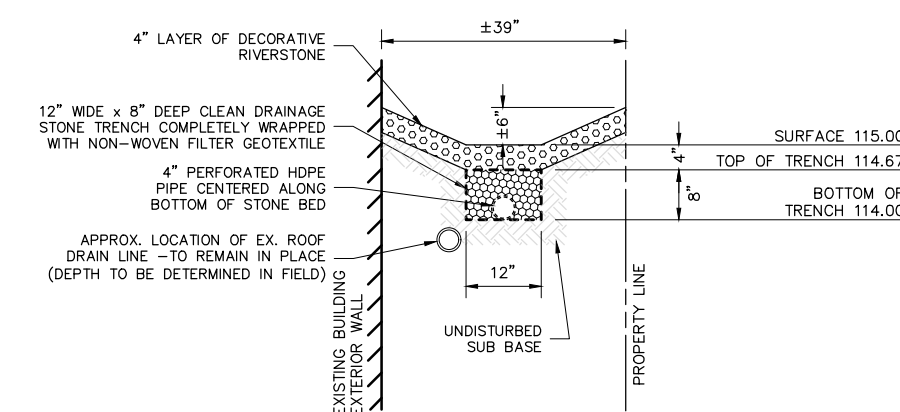
PRECAST CONCRETE BUMPER BLOCK DETAIL
N.T.S.



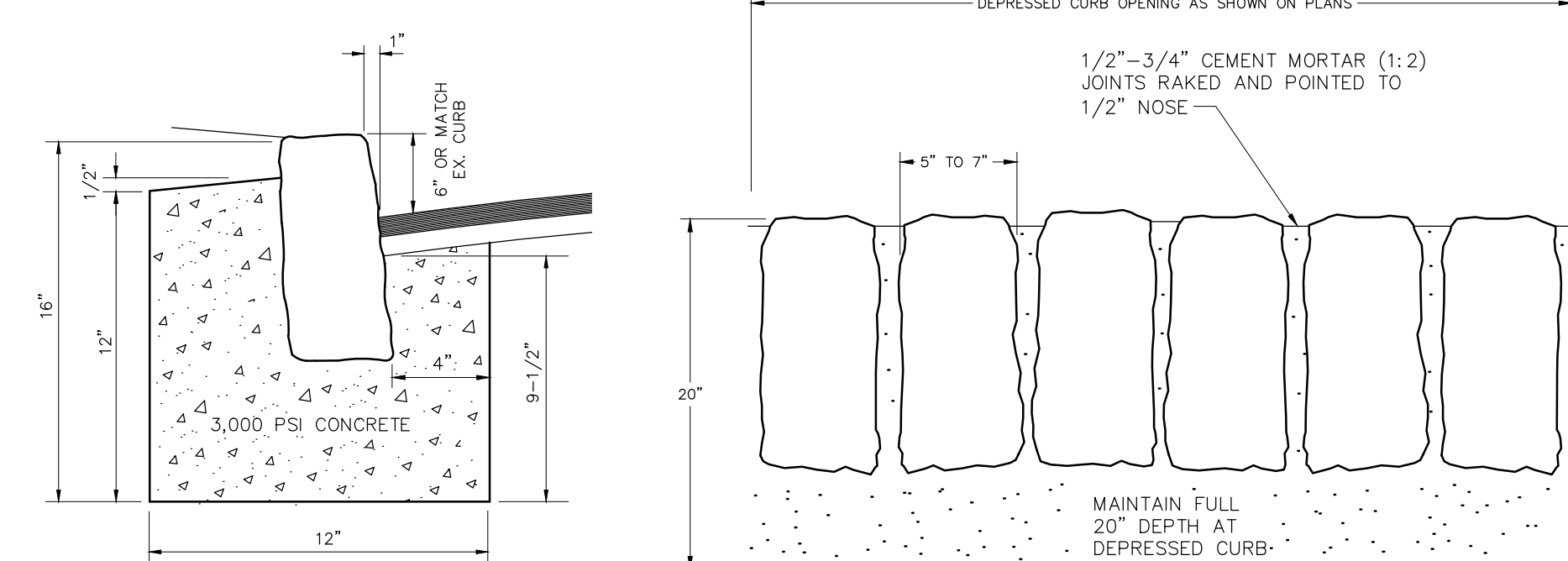
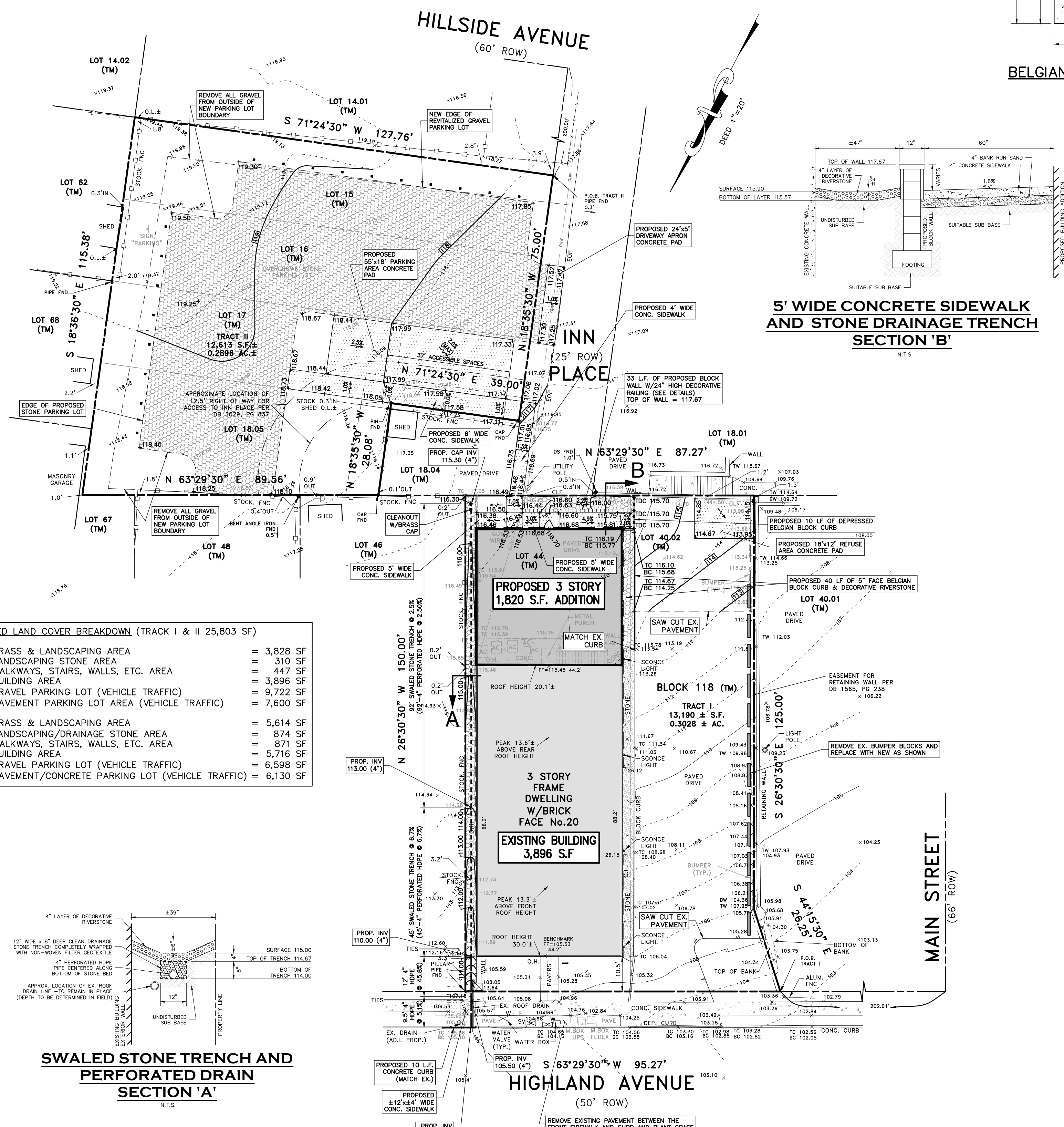
TYPICAL SECTION OF PROPOSED 6" THICK CONCRETE PAD
N.T.S.
(AT REFUSE AREA, PARKING AREA AND DRIVEWAY APRON)

COMPUTED LAND COVER BREAKDOWN (TRACK I & II 25,803 SF)

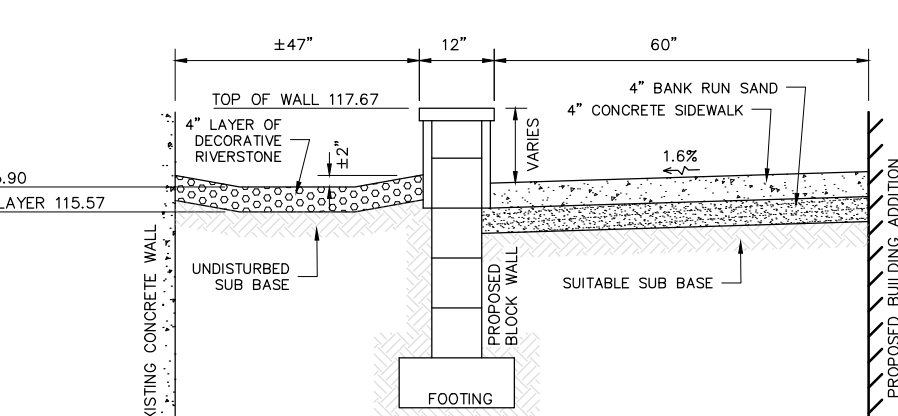
EXIST. GRASS & LANDSCAPING AREA	= 3,828 SF
EXIST. LANDSCAPING STONE AREA	= 310 SF
EXIST. WALKWAYS, STAIRS, WALLS, ETC. AREA	= 447 SF
EXIST. BUILDING AREA	= 3,896 SF
EXIST. GRAVEL PARKING LOT (VEHICLE TRAFFIC)	= 9,722 SF
EXIST. PAVEMENT PARKING LOT AREA (VEHICLE TRAFFIC)	= 7,600 SF
PROP. GRASS & LANDSCAPING AREA	= 5,614 SF
PROP. LANDSCAPING/DRAINAGE STONE AREA	= 874 SF
PROP. WALKWAYS, STAIRS, WALLS, ETC. AREA	= 871 SF
PROP. BUILDING AREA	= 5,716 SF
PROP. GRAVEL PARKING LOT (VEHICLE TRAFFIC)	= 6,598 SF
PROP. PAVEMENT/CONCRETE PARKING LOT (VEHICLE TRAFFIC)	= 6,130 SF



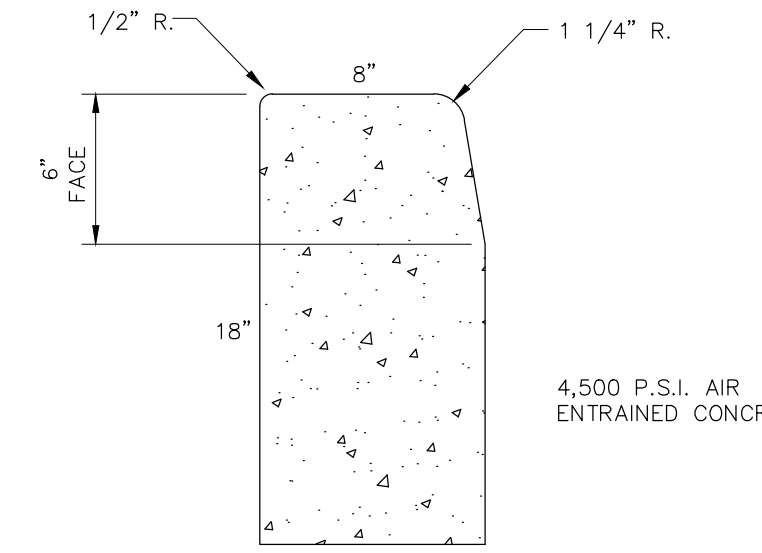
SWALED STONE TRENCH AND PERFORATED DRAIN SECTION 'A'
N.T.S.



BELGIAN BLOCK CURB DETAIL NOT TO SCALE
BELGIAN BLOCK DEPRESSED CURB DETAIL NOT TO SCALE



5' WIDE CONCRETE SIDEWALK AND STONE DRAINAGE TRENCH SECTION 'B'
N.T.S.



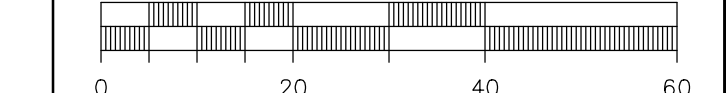
TYPICAL 9' x 18' CURB DETAIL
N.T.S.
(AT HIGHLAND AVENUE ONLY)

CONSTRUCTION NOTES:

- PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY STATE, COUNTY AND TOWNSHIP PERMITS.
- THE CONTRACTOR SHALL CONTACT THE UTILITIES COORDINATION COMMITTEE AT 1-800-272-1000 FOR A UTILITY MARK UP IN THE AREA OF THE CONSTRUCTION AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.
- THESE PLANS IN NO WAY SHOW ALL THE EXISTING UNDERGROUND OR ABOVE GROUND UTILITIES LOCATED WITHIN THE PROJECT SITE, HIGHLAND AVE. R.O.W. AND INN PLACE R.O.W. IT IS THEREFORE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXACT LOCATION AND DEPTH OF ALL THE EXISTING UTILITIES IN THE AREA OF CONSTRUCTION PRIOR TO COMMENCEMENT OF ANY WORK.
- WHERE EXISTING UTILITIES ARE TO BE CROSSED BY THE PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION ACTIVITY TO ASCERTAIN EXISTING INVERTS, MATERIALS AND SIZES. THE TEST PIT INFORMATION SHALL BE PROVIDED TO THE ENGINEER PRIOR TO CONSTRUCTION IN ORDER TO PERMIT ADJUSTMENTS, IF REQUIRED.
- ALL THE EXISTING CURBS, SIDEWALK AND DRIVEWAYS DISTURBED DUE TO THE PROPOSED IMPROVEMENTS SHALL BE RESTORED IN ACCORDANCE WITH THE CURRENT TOWNSHIP AND MIDDLESEX COUNTY'S STANDARDS AND SPECIFICATIONS.
- ALL THE EXISTING POWER POLES WITHIN 10 FEET OF THE PROPOSED IMPROVEMENTS SHALL EITHER BE RELOCATED OR SUPPORTED PER THE RECOMMENDATIONS OF THE UTILITY COMPANY.
- SEWERS CONVEYING SANITARY FLOW, COMBINED SANITARY AND STORMWATER FLOW, OR INDUSTRIAL FLOW SHALL BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE NEW JERSEY DEPARTMENT ENVIRONMENTAL PROTECTION.
- WHERE APPROPRIATE SEPARATION FROM WATER MAIN IS NOT POSSIBLE, THE SEWER SHALL BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER SHALL BE PROVIDED. THE DEPARTMENT MAY REQUIRE ADDITIONAL STRUCTURAL SUPPORT FOR STORM SEWERS CROSSING OVER SEWER.
- THE OUTBOUND SURVEY AND TOPOGRAPHIC INFORMATION AS SHOWN ON THIS PLAN HAS BEEN PROVIDED BY THE APPLICANT.
- THE SURVEY INFORMATION AS SHOWN ON THESE PLANS IS SUBJECT TO SUCH FACTS AS AN ACCURATE TITLE SEARCH MAY DISCLOSE.
- MAINTAIN EXISTING UTILITY CONNECTIONS WHERE POSSIBLE.

GRADING AND UTILITY PLAN & DETAILS

GRAPHIC SCALE 1" = 20'



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CERTIFICATE OF AUTHORIZATION NUMBER: 24GA28084700
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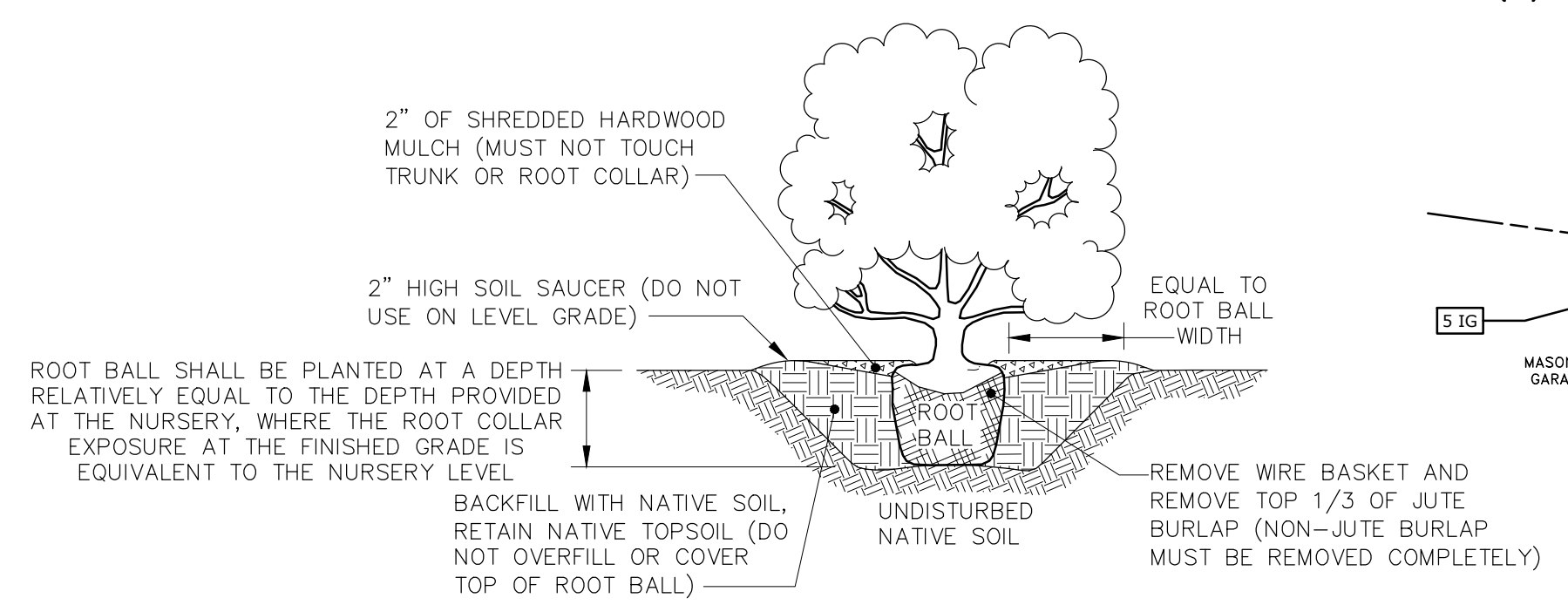
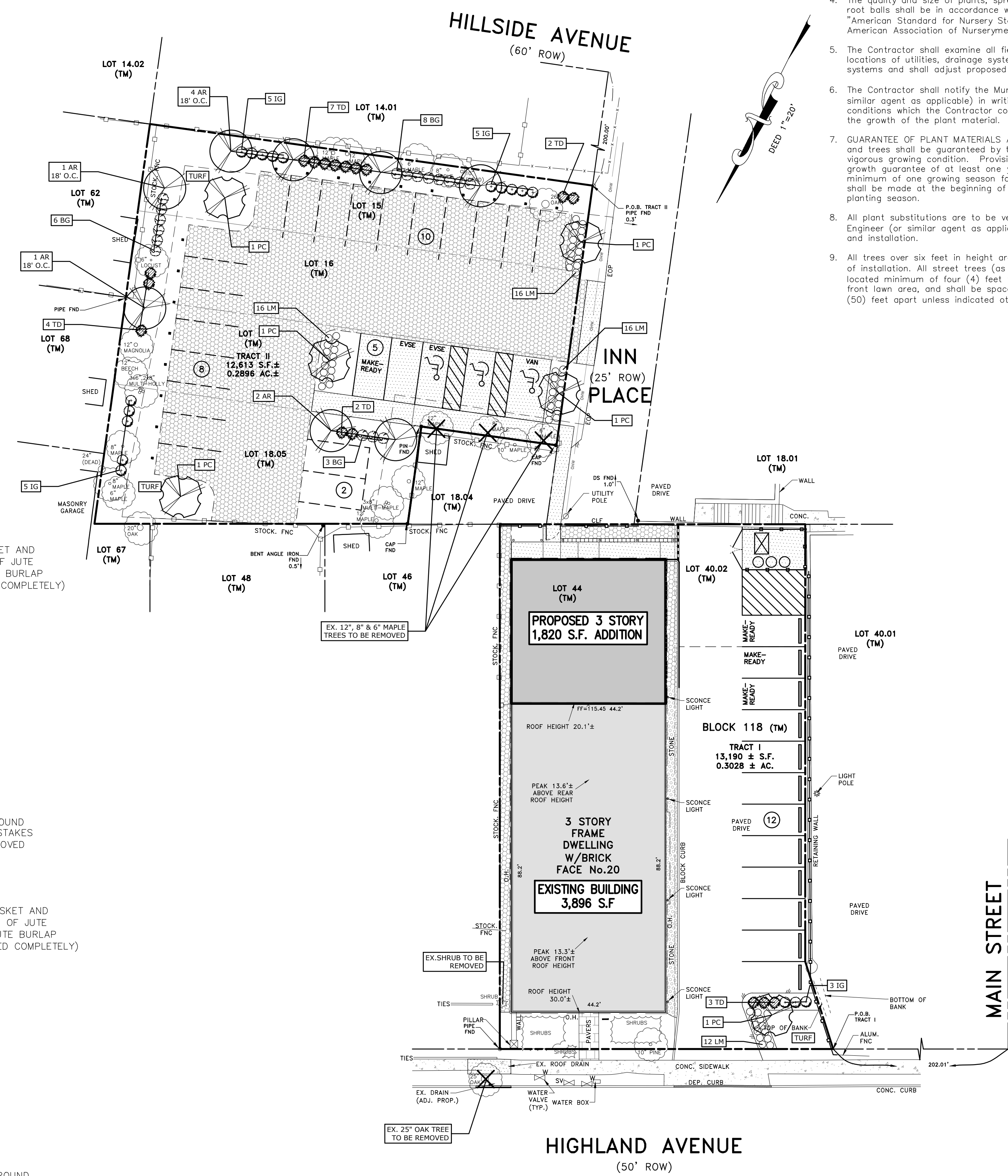
SITE PLAN PREPARED FOR:
MIXED USE
LOTS 15-17, 18.05, 40.02 & 44 IN BLOCK 118
20 HIGHLAND AVENUE
SITUATED IN:
BOROUGH OF METUCHEN
MIDDLESEX COUNTY, NEW JERSEY

CAD: 46-65 DATE: 10/18/23 SCALE: 1" = 20'
FILE: 046.0065 DRAWN: DSA SHEET 3 OF 6

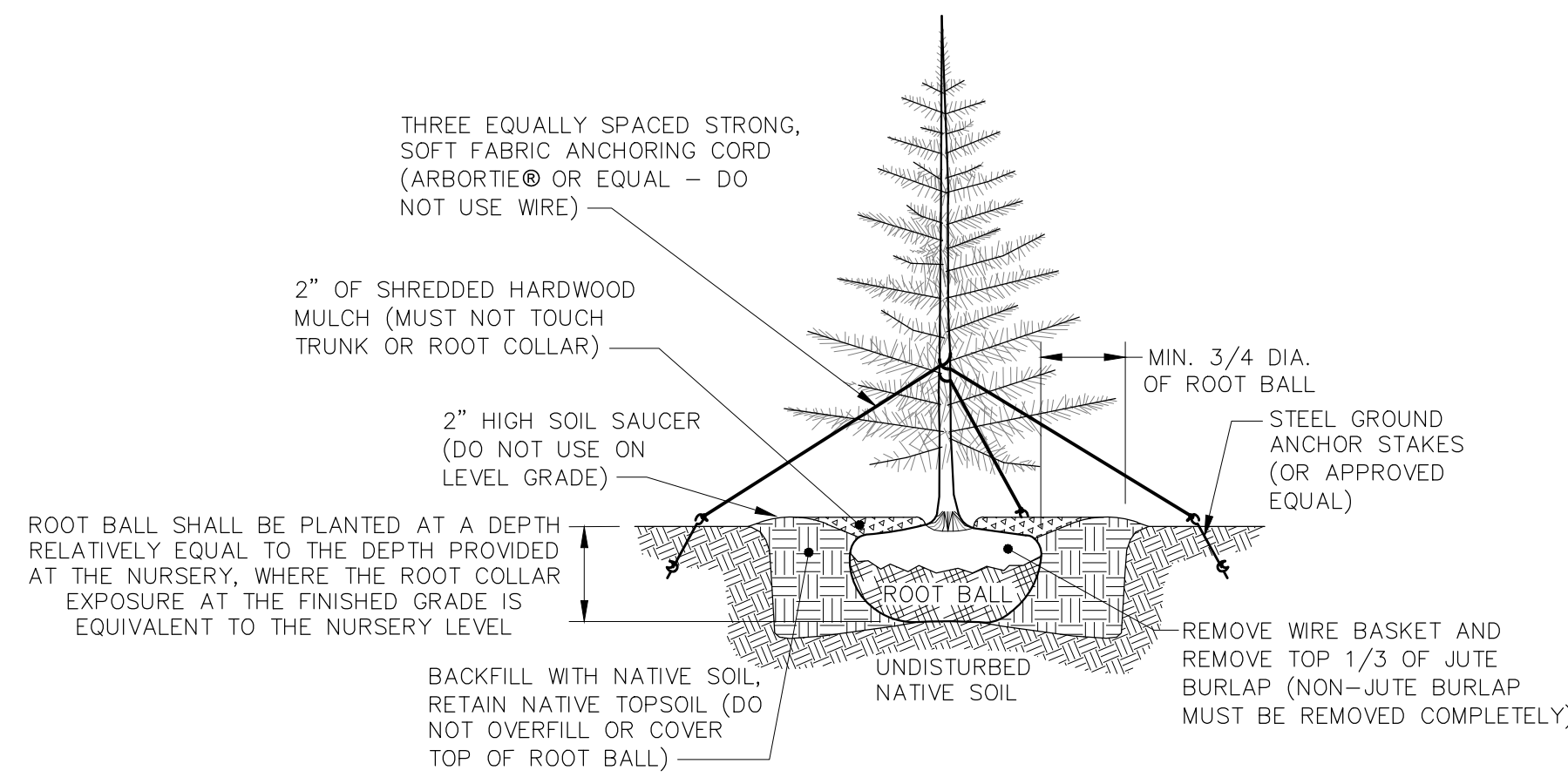
LESLIE A. WALKER III, PE DATE 10/18/23
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NUMBER: 24GE04729700

PLANTING NOTES

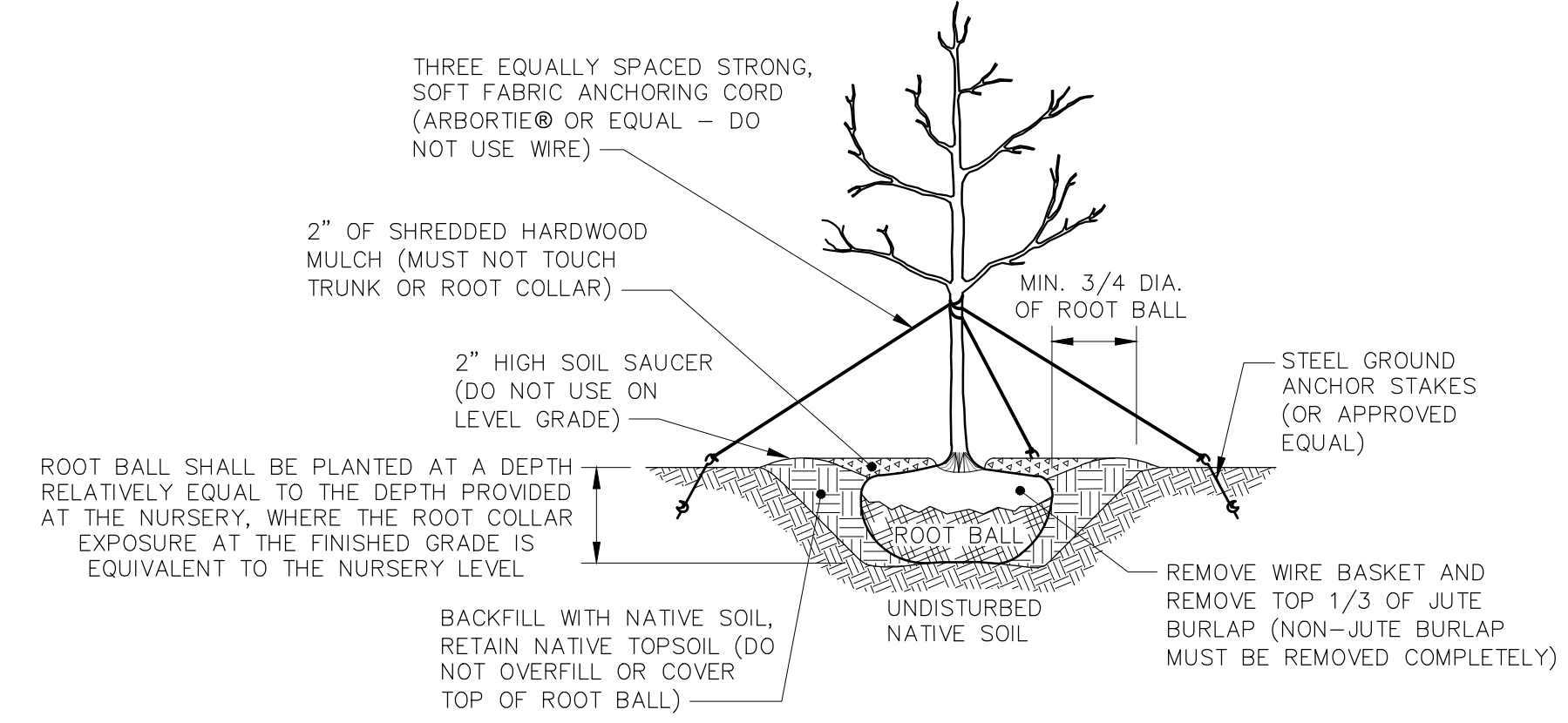
- All landscaping plant material are shown in a semi-mature size in this plan set. Sizes indicated in Plant List are sizes at time of installation.
- The staking layout of all retaining walls, walkways, patio and deck surfaces, irrigation lines, and plantings (where applicable) shall be inspected by the Municipal Engineer (or similar agent as applicable) prior to installation. It is the contractor's responsibility to notify the Municipal Engineer (or similar agent as applicable) as to when the work shall begin.
- Plant locations shown on this plan are diagrammatic. The final locations of all plant materials shall be determined and approved by the Municipal Engineer (or similar agent as applicable).
- The quality and size of plants, spread of roots and size of root balls shall be in accordance with ANSI Z60.1-1985, "American Standard for Nursery Stock" as published by the American Association of Nurserymen.
- The Contractor shall examine all field conditions for exact locations of utilities, drainage systems and irrigation systems and shall adjust proposed plantings accordingly.
- The Contractor shall notify the Municipal Engineer (or similar agent as applicable) in writing of all soil or drainage conditions which the Contractor considers detrimental to the growth of the plant material.
- GUARANTEE OF PLANT MATERIALS AND GROWTH:** All plants and trees shall be guaranteed by the Contractor to be in vigorous growing condition. Provision shall be made for a growth guarantee of at least one year for trees, and a minimum of one growing season for shrubs. Replacements shall be made at the beginning of the first succeeding planting season.
- All plant substitutions are to be verified with the Municipal Engineer (or similar agent as applicable) prior to purchase and installation.
- All trees over six feet in height are to be staked at time of installation. All street trees (as applicable) shall be located minimum of four (4) feet from the sidewalk in the front lawn area, and shall be spaced an average of fifty (50) feet apart unless indicated otherwise in this plan set.
- All landscape areas, either newly created or in existing areas that require repair shall be provided with a 4" thick minimum topsoil layer if none less than 4" are present and shall be temporarily seeding during construction at the rates and applications as specified in the "Temporary Stabilization Specs" notation of the Soil Erosion and Sediment Control Details within this plan set. If lawns are to be provided, seed at the rates and applications as specified in the "Permanent Stabilization Specs" notation of the soil erosion and sediment control details within this plan set.
- All side slopes and bottoms of intermittent water-containing structures (such as grassed waterways or detention basins, if applicable) shall be provided with 6" thick minimum topsoil layers and shall be seeding at the rates and applications as specified in the "Intermittent Waterways - Permanent Seeding Specs" notation of the Soil Erosion and Sediment Control Details within this plan set.
- The Contractor shall lime, fertilize and mulch all landscape areas at the rate specified by the Soil Erosion and Sediment Control Permanent Stabilization notes within this plan set.
- It is the Contractor's responsibility to determine soil acidity levels of the underlying soils of the new lawn areas. A PH level of 4 or less will require a new 12" minimum layer of soil with a PH of 5 or greater before the topsoil is applied. The acidic underlying soil shall either be ameliorated by scarifying 12" of the soil and adding limestone until the soil is no longer acidic or a new layer will be applied on top, which ever is most applicable.
- No soil shall be placed atop the planting rootball and the root collar must be exposed. Wire baskets and the top 1/3 of jute burlap are to be removed prior to backfilling the planting pit. Any material other than jute burlap must be removed completely. The sub-soil should not be disturbed directly under the root ball platform.
- The Contractor shall fertilize all landscaping plant material with 5-10-5 fertilizer, or approved equal, at the rate specified by the manufacturer.
- All tree pits, plant beds and ground cover areas shall be mulched to a 3-inch depth (after settlement) with shredded hardwood mulch. Shredded hardwood mulch with maximum of one (1) inch of mulch shall be placed within twelve (12) inches of tree trunks. The mulch should not come in contact with the trunk or the root collar. The mulch shall have no leaves, weeds, branches, shavings, twigs over 1/2" diameter, or foreign material such as stones, etc.
- All water applied to planted or lawn areas shall be free from impurities harmful to vegetation and applied at a rate of five gallons of water per square yard of plant pit. All watering is the responsibility of the applicant.
- Backfill material for raised plant beds shall consist of natural loam topsoil, free from subsoil, and shall be obtained from an area which has never been stripped. Topsoil shall have been removed from a depth of no more than 1 foot, or less if subsoil is encountered. Topsoil shall be of uniform quality, free from hard clods, stiff clay hard pan, sods, partially disintegrated stone, lime cement, tar residues, chips or any other undesirable material.
- All proposed trees (as applicable) should be provided with anchoring and stakes. Anchoring must be cord made of strong, soft fabric material (NO WIRE). All anchoring and stakes must be removed after one (1) year.
- Areas disturbed by landscape operations shall be graded to match existing. Topsoil and seed as required.
- Provide Tree protection fencing as specified in the Soil Erosion and Sediment Control Details within this plan set.
- Plant material shown in a mass or touching each other shall be allowed to grow together to perform as a screen or hedge. DO NOT PRUNE OR SHEAR INTO INDIVIDUAL FREE-STANDING PLANTS OR TREES!!!
- FALL HAZARD NOTES:** All plant materials that are known or suspected to have a Fall Planting Hazard shall be dug, transplanted and installed during the Spring Planting season only! The following plant species are known to have a Fall Planting Hazard:
 - Acer rubrum & vars.
 - Betula varieties
 - Cornus varieties
 - Cornus varieties
 - Crotaegus varieties
 - Koeleruteria
 - Liquidambar styraciflua
 - Liriodendron tulipifera
 - Magnolia varieties
 - Platanus acerifolia
 - Prunus - all stone fruits
 - Pyrus - all pears
 - Quercus - all oaks
 - Salix - weeping varieties
 - Styrax japonica
 - Tilia tomentosa
 - Zelkova varieties
- This drawing is to be used for Landscaping development purposes only.
- All landscaping procedures and applications as indicated in this plan set shall be performed in strict compliance with the Standards for Soil Erosion and Sediment Control in New Jersey.



SHRUB PLANTING DETAIL NTS



EVERGREEN TREE PLANTING DETAIL NTS



DECIDUOUS TREE PLANTING DETAIL NTS

TREE REPLACEMENT
 REMOVAL OF 1 TREE 24" DBH TO < 30" DBH x (7) REPLACEMENTS = 7 TREES
 REMOVAL OF 1 TREE 12" DBH TO < 18" DBH x (4) REPLACEMENTS = 4 TREES
 REMOVAL OF 2 TREES 6" DBH TO < 12" DBH x (6) REPLACEMENTS = 6 TREES
 TOTAL REPLACEMENT TREES REQUIRED: (7+4+6) = 18 TREES
 TOTAL REPLACEMENT TREES PROVIDED: = 14 TREES (W)
 (W) WAIVER REQUESTED

PLANT LIST

SYM.	QUAN.	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	REMARKS
SHADE TREES					
AR	8	Acer rubrum "JFS-KW78"	Armstrong Gold Maple Tree	2.5" Cal.	888
PC	6	Pyrus Calleryana "Capitol"	Capitol Pear Tree	2.5" Cal.	888
SHRUBS					
BCG	17	Buxus x "Green Gem"	Green Gem Boxwood	24" High	888
IG	18	Ilex glabra "Compacta"	Compact Inkberry	36" High	888
LM	60	Liriope muscari	Big Blue Lilyturf	12" High	#1 Cont.
TD	18	Taxus cuspidata "Densiflora"	Dense Japanese Yew	36" High	888

REV.	DESCRIPTION	DATE	BY

LANDSCAPING PLAN & DETAILS

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Leslie A. Walker III 10/18/23
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 PROFESSIONAL ENGINEER
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