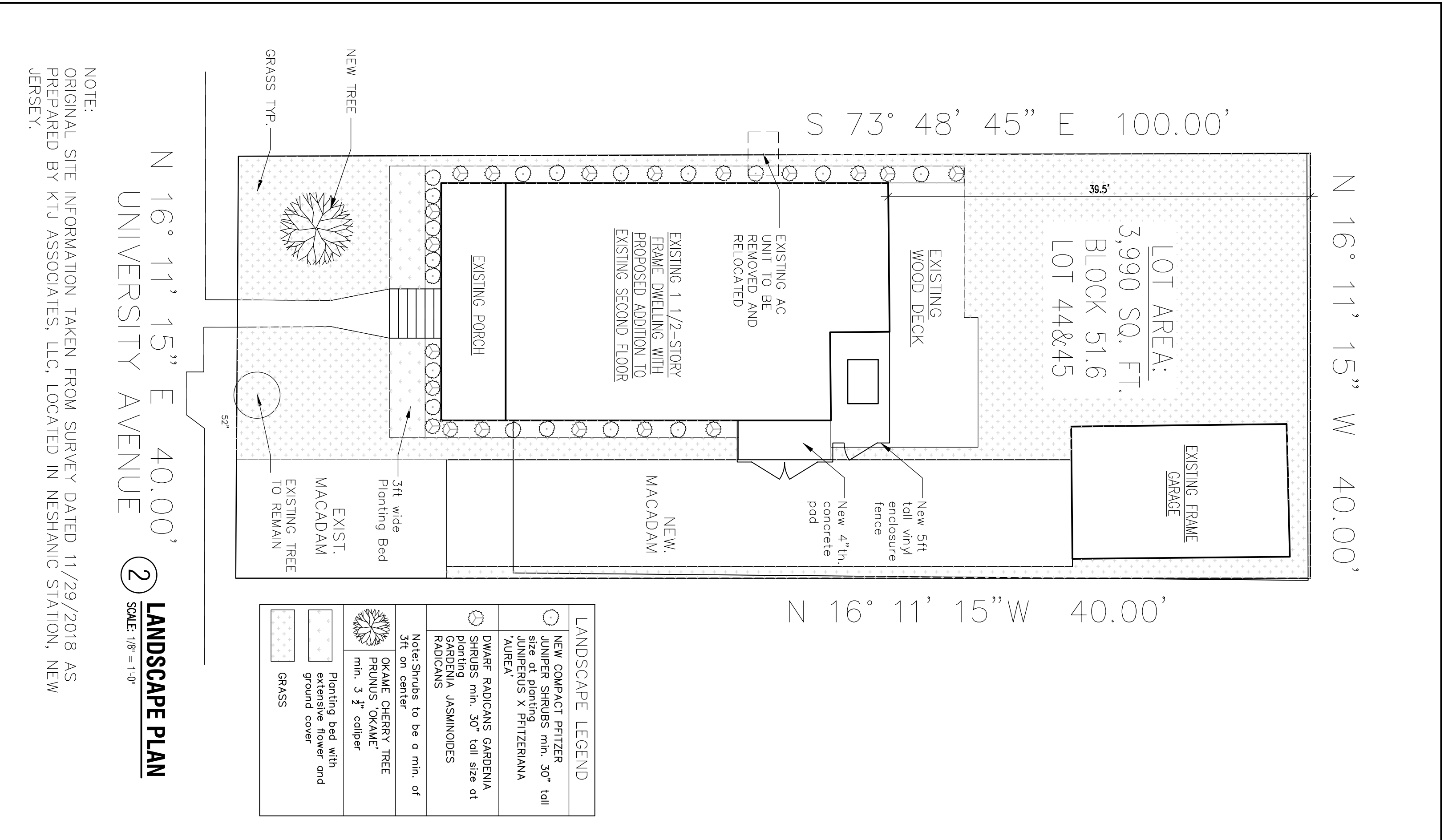


ZONING CHART				
R-2 DISTRICT SINGLE FAMILY RESIDENTIAL ZONING REQUIREMENTS	REQUIRED	EXISTING	PROPOSED	COMPLY
MINIMUM LOT DIMENSIONS	7,500 sq. Ft.	4,000 sq. Ft.	4,000 sq. Ft.	NO**
AREA, Sq. Ft.	62.5'	40.0'	40.0'	NO**
DEPTH, Feet	100.0'	100.0'	100.0'	YES
MINIMUM YARD SETBACKS	FRONT: 25.0'	24.93'	24.93'	NO**
REAR: 25.0'	39.5'	39.5'	39.5'	YES
SIDE: 8.0'	2.65' / 14.85'	2.65' / 14.85'	2.65' / 14.85'	NO** / YES
MAXIMUM BUILDING COVERAGE (GROSS)	30%	22%	22%	NO**
MAXIMUM IMBERVIOUS COVERAGE	35.0'	42%	56%	YES
MAXIMUM BUILDING HEIGHT	3 Stories	1 1/2 Story	2 1/2 Story	NO
				YES

\*\* EXISTING NON-CONFORMING CONDITION  
NO CHANGE PROPOSED



LANDSCAPE LEGEND	
	NEW COMPACT PUTTER 1/2" deep x 1/2" diameter 30" tall
	JUNIPERUS X PFTZERIANA 1 1/2" caliper
	DWARF RADIOANS GADENIA 2" caliper
	SHRUBS min. 30" tall size at planting
	PRUNUS OKAME 1 1/2" caliper
	RADIOANS
	Note: Sprinkler to be 0.5 m. of 3ft on center
	Planting bed with macadam and ground cover
	GRASS

NOTE: ORIGINAL SITE INFORMATION TAKEN FROM SURVEY DATED 11/29/2018 AS PREPARED BY K1J ASSOCIATES, LLC, LOCATED IN NESHANIC STATION, NEW JERSEY.

N 16° 11' 15" E 40.00' LANDSCAPE PLAN  
UNIVERSITY AVENUE

LIST OF DRAWINGS:

- 1-100 SITE PLAN, ZONING CHART, AND GENERAL NOTES
- D-100 DEMOLITION FLOOR PLANS
- D-200 DEMOLITION ELEVATIONS
- A-100 PROPOSED FLOOR PLANS
- A-101 PROPOSED FLOOR PLANS & ROOF PLAN
- A-200 PROPOSED ELEVATIONS
- A-201 PROPOSED ELEVATIONS

KEY NOTES: THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND NOTIFY THE ARCHITECT WITH ANY DISCREPANCIES PRIOR TO THE START OF ANY WORK.

ALL DIMENSIONS TO FACE OF SHEATHING / ONG UO.IH. VERIFY EXISTING GRADE IN FIELD. COORDINATE EXTERIOR GRADES TO VERIFY ALL STAIRS FOR RISE & RUN W/ STAIR CONTRACTOR PRIOR TO FINAL FRAMING FOR LANDINGS. COORDINATE RISERS W/ NEW EXTERIOR STAIRS PRIOR TO CONSTRUCTION. COORDINATE EXTERIOR GRADES WITH SUPERVISOR DRAWINGS PRIOR TO FINAL FRAMING FOR LANDINGS. VERIFY IN FIELD.

COORDINATE ALL UTILITIES W/ MECHANICAL CONTRACTOR.

EXISTING HOT WATER BASE BOARD HEATING SYSTEM TO REMAIN THROUGHOUT. PLUMBING CONTRACTOR TO VERIFY SIZE OF EXISTING HOT WATER BASE BOARD HEATING SYSTEM TO DETERMINE ITS ADEQUACY FOR EXPANDING SYSTEM TO SUIT WORK WITH ALL TRADES. VERIFY OPTIONS WITH OWNER & COORDINATE MECHANICAL CONTRACTOR TO REMAIN PLUMBING CONTRACTOR TO REPAIR EXISTING BASEBOARD HEATING & PUMP SYSTEM AS REQUIRED. VERIFY W/ OWNER.

EXISTING GAS FURNACE IN BASEMENT TO BE REMOVED. EXISTING HOT WATER HEATER IN BASEMENT TO BE RELOCATED W/ EXISTING COMBUST. VERIFY W/ OWNER. VERIFY FUEL LABEL LOCATION FOR NEW VENT W/ ALL APPLICABLE CODES.

EXISTING GAS FURNACE IN BASEMENT TO BE REMOVED. EXISTING HOT WATER HEATER IN BASEMENT TO BE REMOVED AND RE-LOCATED IN SAME LOCATION W/ VENT THROUGH ROOF. VERIFY AN ACCEPTABLE LOCATION FOR NEW VENT W/ ALL APPLICABLE CODES.

EXISTING GAS FURNACE IN BASEMENT TO BE REMOVED. EXISTING (2) HOT WATER HEATERS IN BASEMENT TO BE REPLACED W/ DIRECT VENT TO EXTERIOR. VERIFY AN ACCEPTABLE LOCATION FOR NEW VENT W/ ALL APPLICABLE CODES.

EXISTING CAST IRON HOT WATER STEAM RADIATOR HEATING & PUMP SYSTEM TO BE REMOVED. LOCATIONS THROUGHOUT PROVIDE NEW FORCED AIR COOLING AND HEATING SYSTEM. VERIFY W/ OWNER.

EXISTING FORCED AIR HEATING & COOLING SYSTEM TO REMAIN. MECHANICAL CONTRACTOR TO COORDINATE ZONE REQUIREMENTS WITH OWNER PRIOR TO RELOCATING. VERIFY OPTION WITH OWNER & COORDINATE WORK WITH ALL TRADES.

MECHANICAL CONTRACTOR TO COORDINATE ZONE REQUIREMENTS WITH OWNER PRIOR TO RELOCATING. VERIFY OPTION WITH OWNER & COORDINATE WORK WITH ALL TRADES.

FINAL KITCHEN DESIGN, CABINETS AND LAYOUT BY OTHERS.

V.I.F. - VERIFY IN FIELD

M.O. - MASONRY OPENING

EXISTING ELECTRICAL SERVICE PANEL IN EXISTING GARAGE TO REMAIN. VERIFY LOCATION W/ OWNER & UTILITY CO. ELECTRICAL CONTRACTOR TO VERIFY EXISTING ELECTRICAL SERVICE TO DETERMINE ITS ADEQUACY FOR NEW WORK. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO COORDINATE/UPGRADE SIZE OF NEW ELECTRICAL SERVICE IF REQUIRED.

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EXISTING 125 AMP 120/240 V ELECTRICAL SERVICE PANEL IN EXISTING BASEMENT TO BE REPLACED IN SAME LOCATION. VERIFY FINAL LOCATION W/ OWNER & UTILITY CO. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO COORDINATE/UPGRADE SIZE OF NEW ELECTRICAL SERVICE IF REQUIRED.

EXISTING 200 AMP 120/240 V ELECTRICAL SERVICE PANEL IN EXISTING BASEMENT TO BE REPLACED IN SAME LOCATION. VERIFY FINAL LOCATION W/ OWNER & UTILITY CO. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO COORDINATE/UPGRADE SIZE OF NEW ELECTRICAL SERVICE IF REQUIRED.

EXISTING ELECTRICAL SERVICE PANEL IN EXISTING GARAGE TO BE RE-LOCATED W/ NEW 200 AMP 120/240 V ELECTRICAL SERVICE. VERIFY FINAL LOCATION W/ OWNER & UTILITY CO. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO COORDINATE/UPGRADE SIZE OF NEW ELECTRICAL SERVICE IF REQUIRED.

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BUILDING DATA:

APPLICABLE CODES

UNIFORM CONSTRUCTION CODE OF NEW JERSEY  
REHABILITATION SUBCODE: N.J.A.C. TITLE 5, CHAPTER 23  
(ALTERATION, RENOVATION AND ADDITION ADD-A1-E1E1)  
INTERNATIONAL RESIDENTIAL CODE, NEW JERSEY EDITION 2015 (IRC)  
NATIONAL ELECTRICAL CODE 2014 (NEC)  
NATIONAL PLUMBING CODE 2015 (NPC)  
USE AND OCCUPANCY CLASSIFICATION

R-2 RESIDENTIAL - SINGLE FAMILY

GROSS BUILDING AREA

BASEMENT PLAN (EXISTING) = 675 +/- SQ. FT.  
FIRST FLOOR (EXISTING) = 762 +/- SQ. FT.  
SECOND FLOOR (PROPOSED) = 688 +/- SQ. FT.  
TOTAL = 2145 +/- SQ. FT.

MAXIMUM BUILDING HEIGHT = 4.6'-4" (PROPOSED)

NUMBER OF STORES = 2 1/2 STORES

BUILDING VOLUME (PROPOSED) = 16,531 CF.

TYPE OF CONSTRUCTION

TYPE 5-B FRAME CONSTRUCTION DEFINED BY IBC TABLE 503 AND TABLE 601

LOT DATA

BLOCK: 516 LOT: 44&45

EXISTING LOT AREA = 4,000 S.F.

STRUCTURAL DESIGN LOADING:

FIRST FLOOR: 40 LBS/SF LL + 15 LBS/SF DL = 55 PSF  
SECOND FLOOR: 30 LBS/SF LL + 15 LBS/SF DL = 45 PSF  
CEILING/ATTIC: 20 LBS/SF LL + 15 LBS/SF DL = 35 PSF  
ROOF LOAD: 30 LBS/SF LL + 15 LBS/SF DL = 45 PSF

PROVIDE WOOD BUILDERS STAIR TO NEW SECOND FLOOR ADDITION WITH PAINTED POPLAR STAR JOISTS AND RISERS AND 3/4" OAK TREADS W/ CLEAR FINISH (8 1/4" MAX. RISER / 36" MAX. TREAD). OAK HANDRAILS WITH SPINDLES TO BE PROVIDED. BALUSTERS SHALL BE 4" CLEAR BETWEEN SPINDLES AS REQUIRED BY CODE (RAILINGS ASSEMBLIES SHALL BE DESIGN TO WITHSTAND 200 LBS. OF HORIZONTAL FORCE). CONTRACTOR TO SELECT RAILING AND GROUNDWALL STYLE. SEE STAIR DETAIL FOR ADDITIONAL INFO.

PROVIDE NEW WOOD BUILDERS STAIR TO FIRST AND SECOND FLOOR WITH PAINTED POPLAR STAR JOISTS AND RISERS AND 3/4" OAK TREADS W/ CLEAR FINISH (8 1/4" MAX. RISER / 36" MAX. TREAD). PROVIDE OAK HANDRAILS TO EACH SIDE OF STAIRS AND PAINTED WOOD SPINDLES AND BALUSTERS TO BE PROVIDED. BALUSTERS SHALL BE 4" CLEAR BETWEEN SPINDLES AS REQUIRED BY CODE (RAILINGS ASSEMBLIES SHALL BE DESIGN TO WITHSTAND 200 LBS. OF HORIZONTAL FORCE). OWNER TO SELECT RAILING AND GROUNDWALL STYLE. SEE STAIR DETAIL FOR ADDITIONAL INFO.

CONTRACTOR TO VERIFY ALL STAIR OPENINGS FOR RISE & RUN W/ STAIR CONTRACTOR PRIOR TO FINAL FRAMING FOR LANDINGS AND / OR OPENINGS.

REPLACE EXISTING WINDOWS AS INDICATED W/ NEW WINDOWS TO MATCH EXISTING OPENING. VERIFY EXISTING WINDOW IN FIELD. THE CONTRACTOR TO VERIFY THE CONDITION OF EXISTING HEADERS ABOVE WINDOWS TO BE REPLACED. REPAIR OR REPLACE W/ NEW (2)X8 HEADERS MIN. W/ (3) 2"x4" BUILT-UP WOOD POSTS AT EACH SIDE OF HEADER AS REQUIRED. THE THROUGHOUT UO.IH.

REPAIR EXISTING DAMAGED WINDOWS AS INDICATED W/ NEW WINDOWS TO MATCH EXISTING OPENING. VERIFY EXISTING WINDOW IN FIELD. THE CONTRACTOR TO VERIFY THE CONDITION OF EXISTING HEADERS ABOVE WINDOWS TO BE REPLACED. REPAIR OR REPLACE W/ NEW (2)X8 HEADERS MIN. W/ (3) 2"x4" BUILT-UP WOOD POSTS AT EACH SIDE OF HEADER AS REQUIRED. THE THROUGHOUT UO.IH.

PROVIDE DECORATIVE PAINT GRADE WOOD TRIM AROUND ALL WINDOW AND DOOR OPENINGS. VERIFY THE WITH OWNER AND ARCHITECT.

PROVIDE SHEET AT 70" AFF. AND COAT ROOF IN ALL CLOSETS PER OWNERS DIRECTIVE. REMOVE WHITE WIRE SHELVING UNIT ABOVE THE WASHING MACHINES AT 67" AFF. PARTY IN KITCHEN AND JENNI CLOSETS TO HAVE FIVE (5) ADJUSTABLE "D" DEEP SHELVES, OF 3/4" WIP WITH WHITE LAMINATE FINISH, ON ADJUSTABLE METAL SHELF BRACKETS WITH THREE (3) VERTICAL WALL TRACKS.

PROVIDE MARBLE SHADE & EXHAUST FANS IN ALL BATHROOMS.

PROVIDE OVERTOP DRAIN PAN WITH FLOOR DRAIN BELOW WASHING MACHINE IN ALL LAUNDRY ROOMS. DRYERS VENTED TO EXTERIOR.

ALL VENTING SYSTEM TERMINATION LOCATIONS AND MINIMUM CLEARANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE NJ 2015 INTERNATIONAL FUEL GAS CODE, APPENDIX C, TABLE 903.5.3.3.3 OF MECHANICAL DRAFT AND DIRECT VENT VENTING SYSTEMS.

PROVIDE UL RATED CABBAGE AT ALL PENETRATIONS THROUGH RATED WALLS AND PARTITIONS, INCLUDING & ELECTRIC. PROVIDE THE RATED COLLARS AT LARGER PHE PENETRATIONS.

PROVIDE DUPLEX RECEPTACLE OUTLETS W/ RATED BOXES AT RATED DIVISION WALLS, AS REQUIRED.

EXTERIOR DOORS SHALL BE WEATHERSTRIPPED WITH APPLICABLE THE WEATHER STRIPPING, FINISH AND THE INTERIOR OF THE HOME. FINAL SELECTIONS OF THE STYLE, FUNCTION, MANUFACTURER, STYLE, AND FINISH.

PROVIDE COMPLETE WEATHER-STRIPPING OF JAMBS, HEAD AND SILL AT ALL EXTERIOR OPENINGS.

FINISH AND INSTALL CURTAINS/LAUNDRY AND LOCKSETS AS INDICATED AND COORDINATE WITH OWNER. PROVIDE INSTALL AND COORDINATE WITH OWNER. THE FINISH AND MANUFACTURER SHALL BE THAT AS SELECTED BY THE OWNER UO.IH.

CONTRACTOR SHALL VERIFY FINISHES AND COLORS WITH THE OWNER.

LOCKSET SPECIFICATIONS:

MAIN ENTRY DOOR - EXTERIOR ENTRY SET - KEY LOCK EXTERIOR WITH THUMBTURN / INTERIOR CONTROL - PASSAGE INTERIOR WITH THUMBTURN (DEBERTI)

BEDROOMS - SINGLE DOOR - PASSAGE SET AND EMERGENCY ACCESS EXTERIOR

BATHROOMS - SINGLE DOOR - SET AND EMERGENCY ACCESS EXTERIOR

CLOSET - SINGLE DOOR - PASSAGE SET

CLOSET DOUBLE DOOR - (2) DUNN HANDLES WITH ROLLER OR MANTIC CATCHES

NON - SECURE ROOMS - PASSAGE SET COORDINATE WITH OWNER FOR LOCATIONS.

SECURE ROOMS - KEY LOCK EXTERIOR THUMBTURN INTERIOR COORDINATE WITH OWNER FOR LOCATIONS.

PAINT DOORS - KEY LOCK EXTERIOR WITH THUMBTURN INTERIOR CONTROL OR THUMBTURN INTERIOR CONTROL ONLY AS DETERMINED BY OWNER.

RENOVATIONS & ALTERATIONS TO:  
212 UNIVERSITY AVENUE  
METUCHEN, NEW JERSEY

OWNER:

MUC

SUBMISSIONS:

05/25/2020

REVISIONS:

Completion review

09/18/2020

DATE PROJECT NO:

19071

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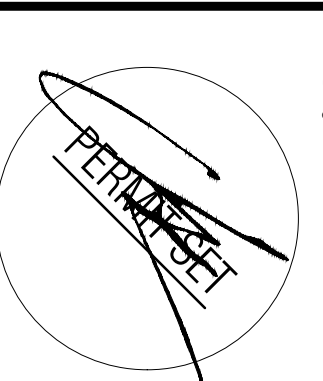
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T-100



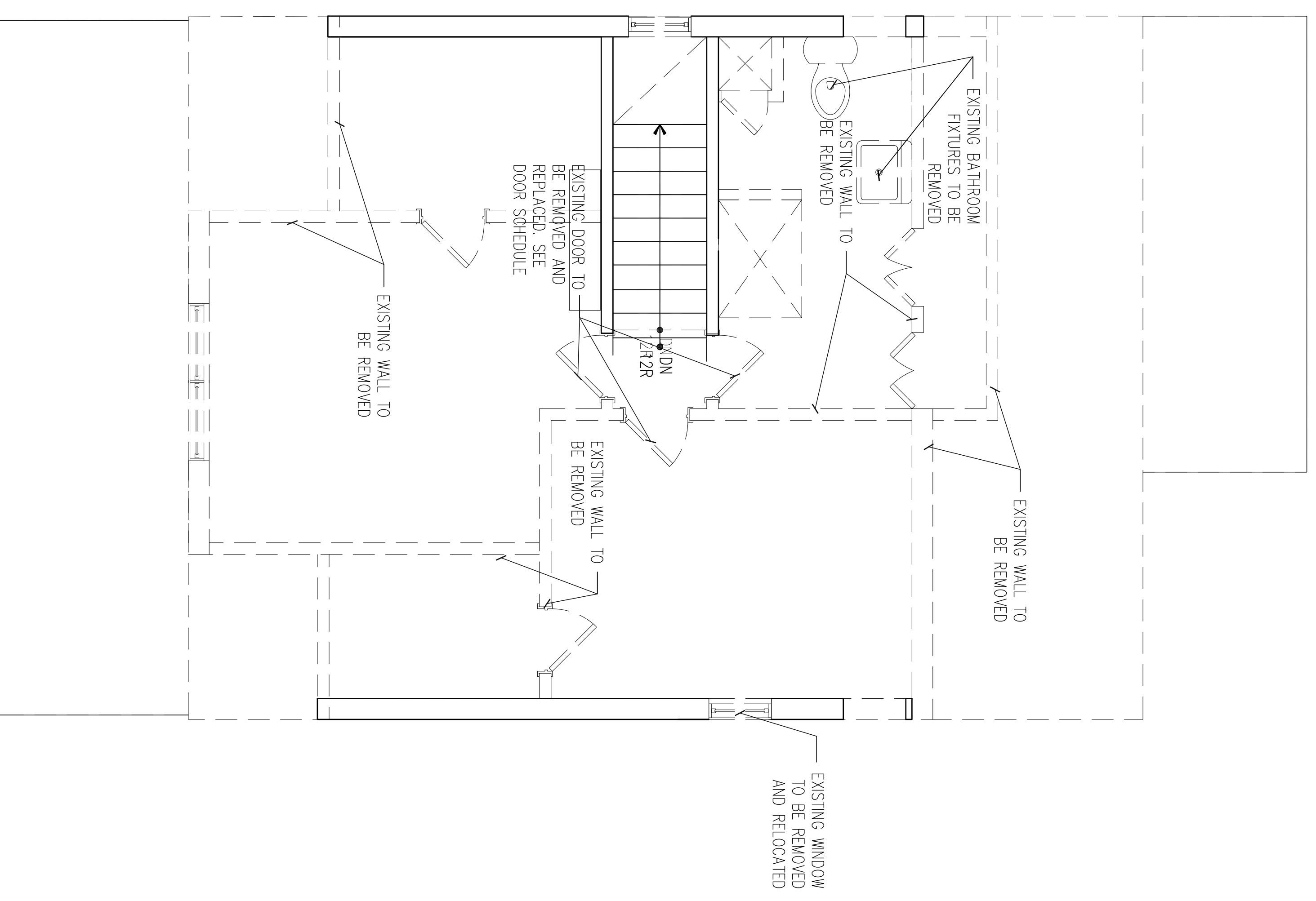
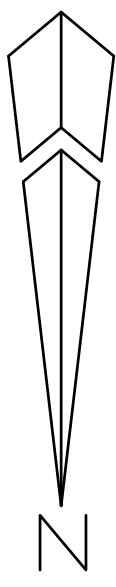
5323 Pineapple Avenue  
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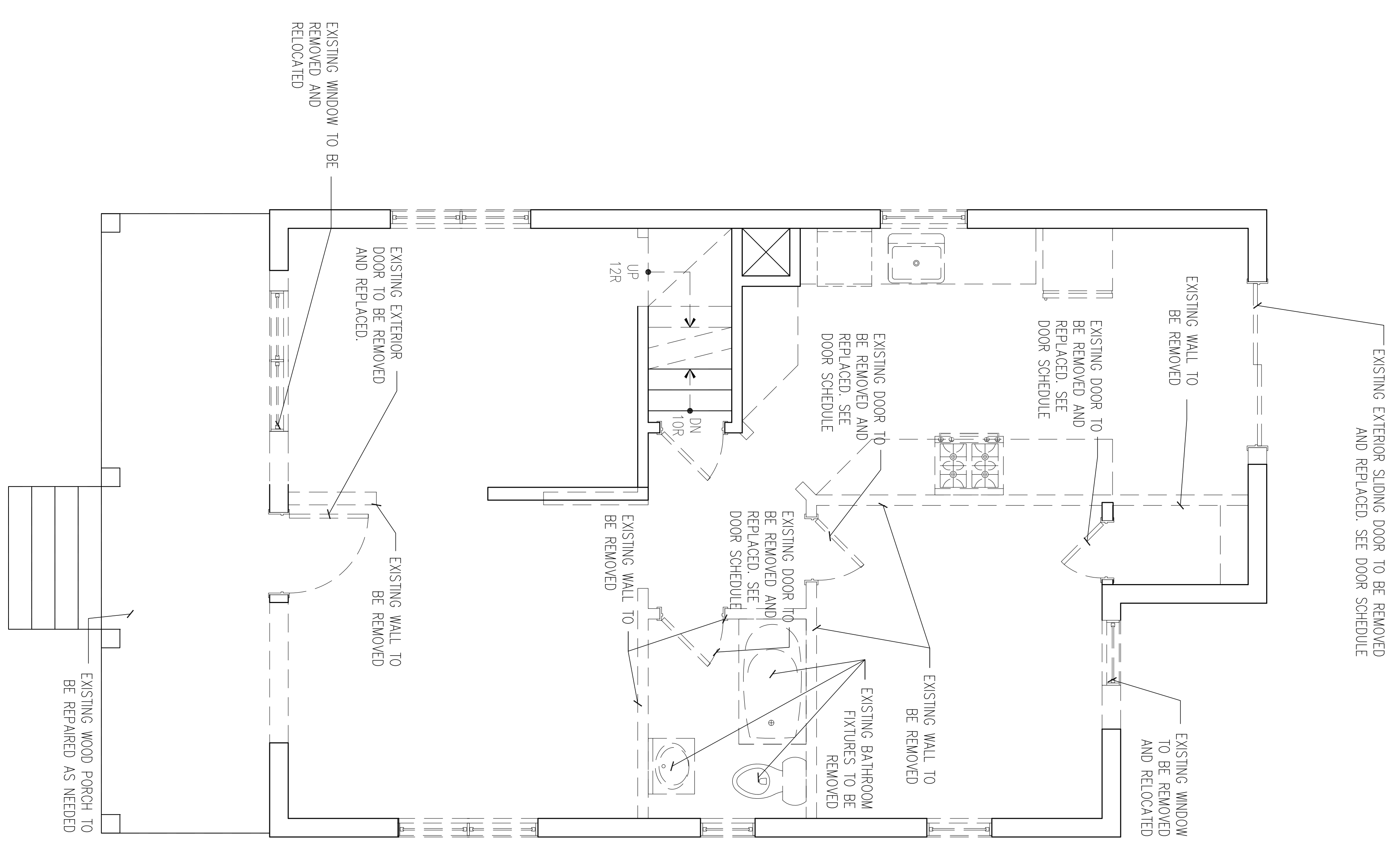
DANIEL INGLESSE  
ARCHITECT/ENGINEER  
N.J. A46586200  
ALEXANDER HERRICO  
ARCHITECT/ENGINEER  
N.J. A46581200  
ANGELINA DUBOIS  
N.J. A46022700

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CONSULTANTS:



2 SECOND FLOOR DEMOLITION PLAN  
SCALE: 3/8" = 1'-0"



1 GROUND FLOOR DEMOLITION PLAN  
SCALE: 3/8" = 1'-0"

**LEGEND**

	INDICATES STUD PARTITIONS - 4" OR 6" NOMINAL WOOD STUDS @ 16" O.C. & FINISHED (SEE DRAWINGS FOR SIZE & FINISHES)
	INDICATES EXISTING STUD PARTITIONS TO REMAIN
	UN-RATED EXTERIOR FRAME WALL
	3 5/8" METAL STUD @ 16" O.C. (20 GA.)
	W/ R-19 BATT INSULATION TO BE REMOVED
	1/2" THICK WOOD RESISTANT GYPSUM BOARD ON INT. SURF. (SEE DRAWINGS FOR FINISHES)
	1" CAP TO STUD
	EXISTING BASEMENT WALL

	EXHAUST FAN DUCTED TO EXTERIOR
	DUPLEX RECEPTACLE OUTLET MOUNTED AT 1'-6" AFF.
	GROUND FAULT INTERRUPT RECEPTACLE MOUNTED AT COUNTER HEIGHT 3'-6" AFF.
	WATERPROOF RECEPTACLE OUTLET MOUNTED AT 1'-6" AFF.
	RANGE OUTLET, PREP OUTLET, WASHING MACHINE OUTLET
	SINGLE POLE LIGHT FIXTURE SWITCH
	THREE WAY LIGHT FIXTURE SWITCH (SELECTED BY OWNER)
	SURFACE MOUNTED LIGHT FIXTURE (SELECTED BY OWNER)
	RECESSED LIGHT FIXTURE (SELECTED BY OWNER)
	INCANDESCENT / LED LIGHT FIXTURE (SELECTED BY OWNER)
	RATED FOR WET LOCATION LIGHT FIXTURE (SELECTED BY OWNER)
	WALL MOUNTED NIT / EXT. INCANDESCENT / LED LIGHT FIXTURE (SELECTED BY OWNER)
	CHANDLIER (SELECTED BY OWNER)
	INTERCONNECTED SMOKE/CARBON MONOXIDE DETECTOR HARDWIRED TO EXIST. ELECTRICAL SYSTEM WITH BATTERY BACK-UP
	HEAT DETECTOR
	LANTERN BOX FOR N.E.C.

**DEMOLITION NOTES**

UTILITIES SERVING THE EXISTING BUILDING MUST BE SAFEGUARDED AGAINST DAMAGE THROUGHOUT THE DEMOLITION WORK.

BEFORE WORK IS BEGUN, IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE ALL BARRICADES, FENCES, BRACES, SHORING OR OTHER SAFETY MEASURES TO INSURE COMPLETE SAFETY DURING THIS WORK. SUCH PROTECTIVE DEVICES MUST BE MAINTAINED FOR THE DURATION OF THE WORK AND COMPLETELY REMOVED UPON COMPLETION OF THE CONTRACT BY THE CONTRACTOR.

THE EXISTING STRUCTURE SHALL BE BRACED DURING ERECTION USING TEMPORARY BRACING IN ACCORDANCE WITH THE REQUIREMENTS OF THE CODE OF BRACING PRACTICE. THE RELATIVE POSITION OF THE BRACING SHALL BE DESIGNED TO TAKE CARE OF ALL LOADS TO WHICH THE STRUCTURE MAY BE SUBJECT TO INCLUDING EQUIPMENT AND THE OPERATION OF SAME. SUCH BRACING SHALL BE LEFT IN PLACE UNTIL THE EXTREME STRUCTURE PORTIONS AS A UNIT OR LONGER IF REQUIRED FOR SAFETY.

ALL WORK DEMOLISHED AND THE DEBRIS RESULTING THEREFROM, BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PROPERTY. DEBRIS MUST BE REMOVED FROM THE PROPERTY AT FREQUENT INTERVALS.

CONTRACTOR SHALL ADEQUATELY PROVIDE SHORING AND SUPPORT TO EXISTING STRUCTURES AT ALL REMOVALS TO PREVENT ANY SETTLEMENT, DEFLECTION OR COLLAPSE PRIOR TO RESUPPORT/MODIFICATION. PATCH AND REPAIR TO LIKE NEW CONDITION, OR REPLACE ITEMS IN EXISTING AREAS DISTURBED BY CONSTRUCTION ACTIVITIES, INCLUDING ANY SETTLEMENT OR DEFLECTION THAT OCCURS.

**Inglese Architecture + Engineering**

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**CONSULTANTS:**

CONSULTING FIRM  
CONSULTANT NAME  
ADDRESS 1  
ADDRESS 2  
ADDRESS 3

**RENOVATIONS & ALTERATIONS TO:**

212 UNIVERSITY AVENUE  
METUCHEN, NEW JERSEY

**OWNER:**

**NACC**

**SUBMISSIONS:**

**ZONING SUBMISSION 06.26.2020**

**REVISIONS:**


**SHEET:**

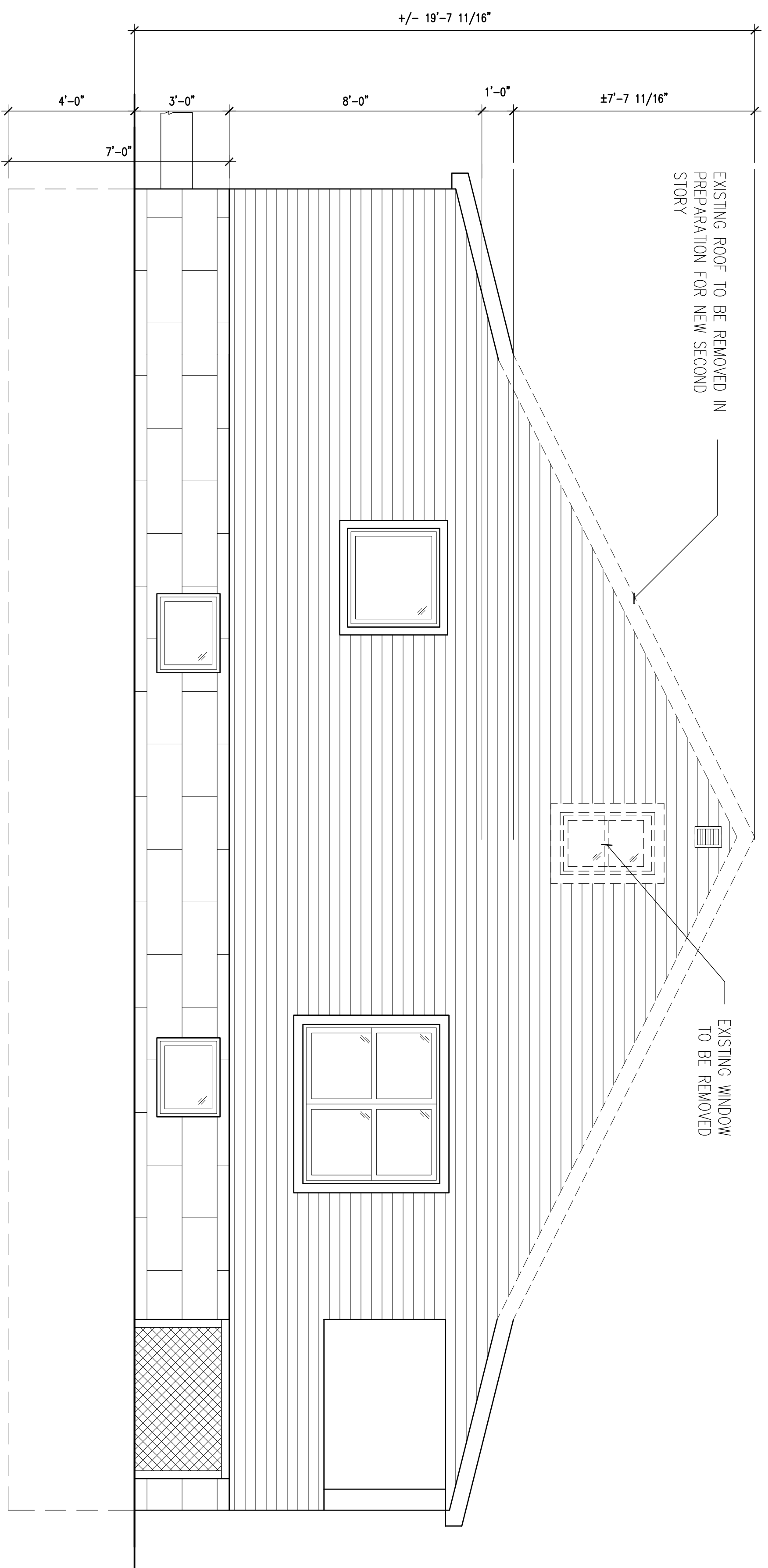
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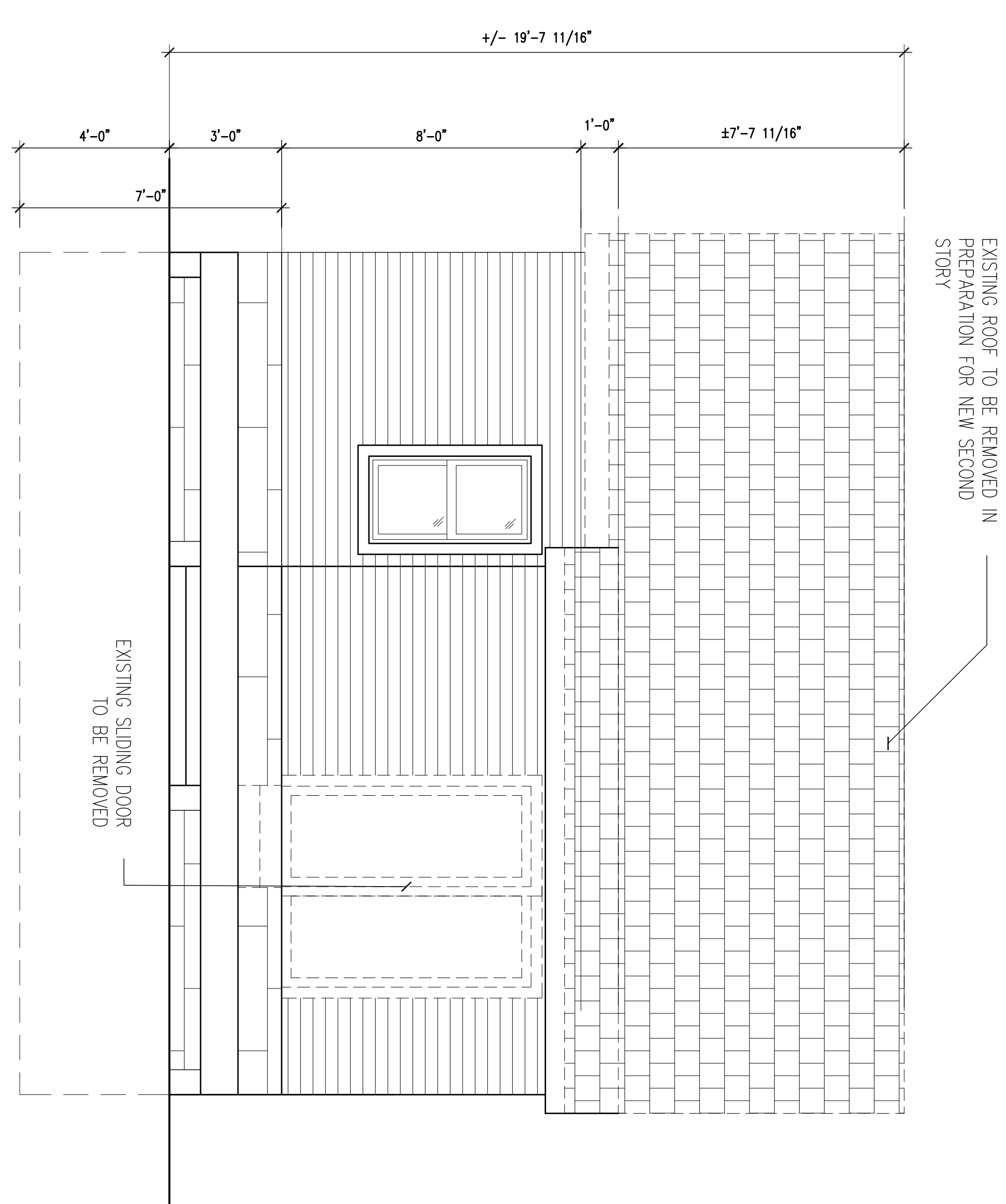
DEMOLITION FLOOR PLANS

**DATE PROJECT NO.:**

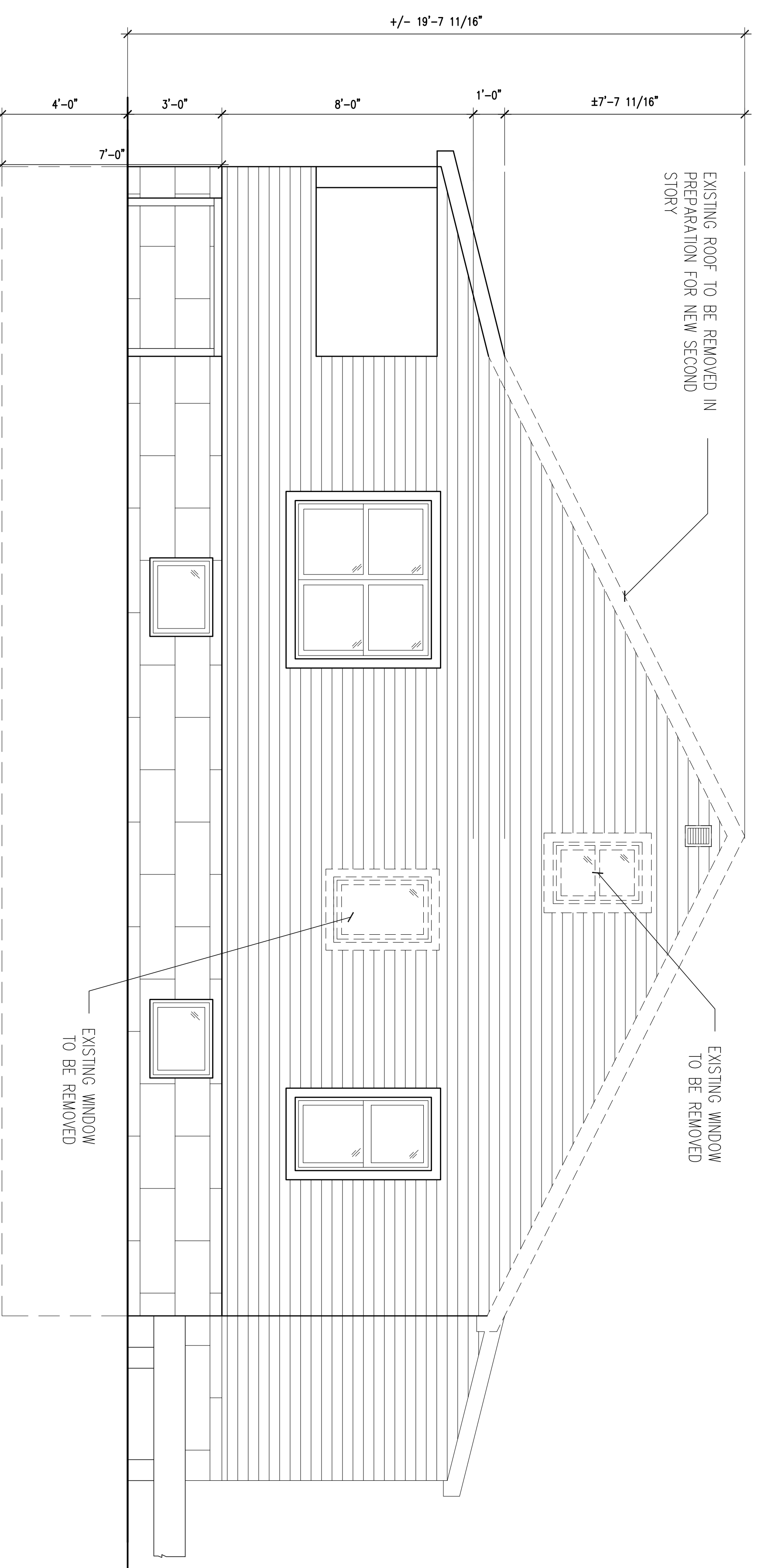
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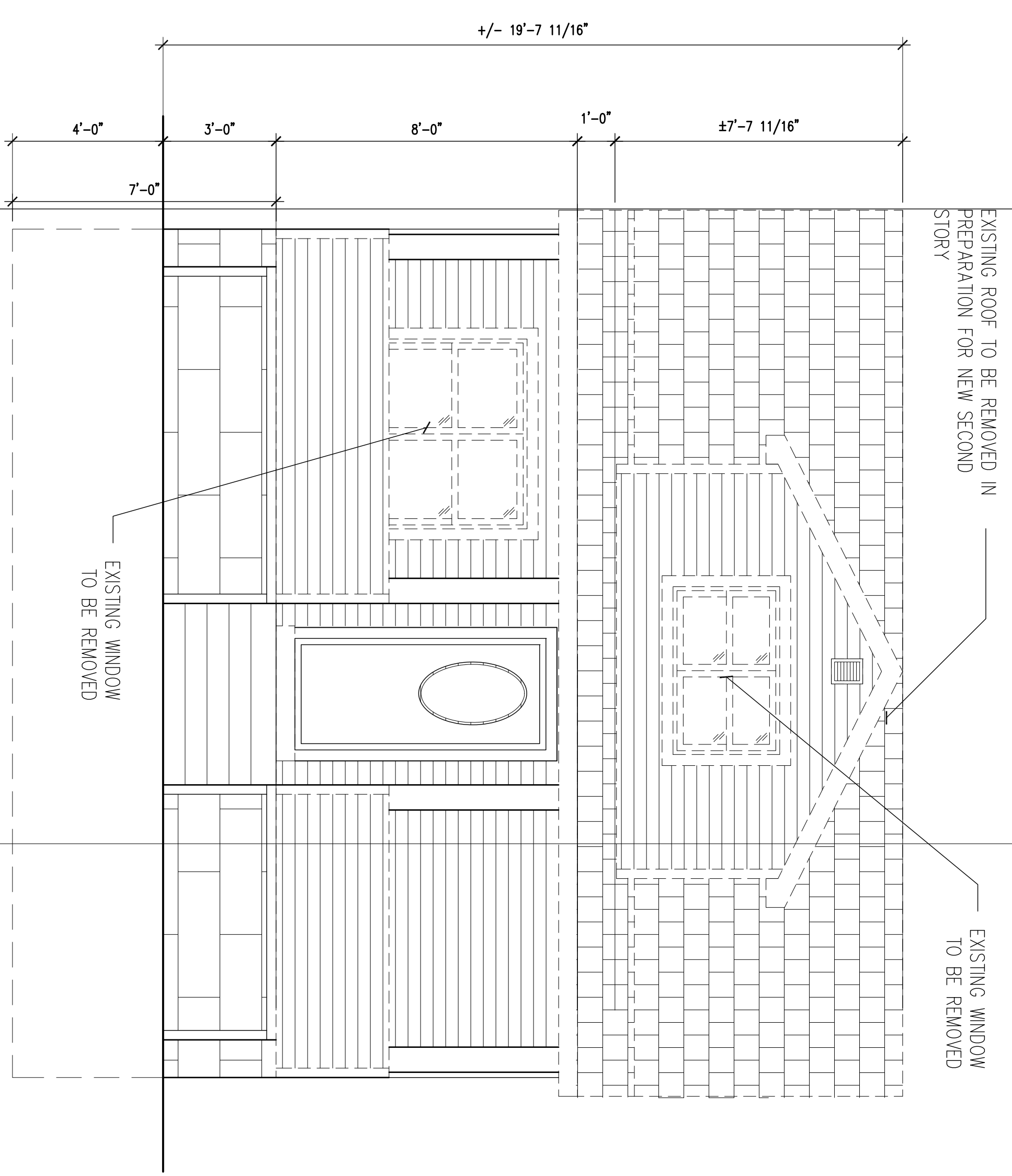
4 DEMOLITION LEFT ELEVATION  
SCALE: 3/8" = 1'-0"



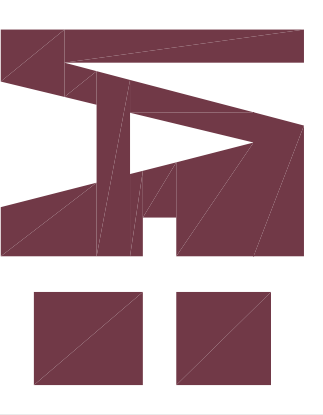
3 DEMOLITION REAR ELEVATION  
SCALE: 3/8" = 1'-0"



2 DEMOLITION RIGHT ELEVATION  
SCALE: 3/8" = 1'-0"

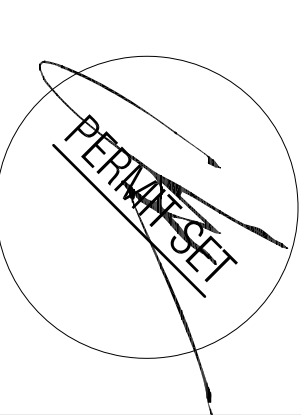


1 DEMOLITION FRONT ELEVATION  
SCALE: 3/8" = 1'-0"



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CONSULTING FIRM  
CONSULTANT NAME  
ADDRESS 1  
ADDRESS 2  
ADDRESS 3

**RENOVATIONS & ALTERATIONS TO:**  
212 UNIVERSITY AVENUE  
METUCHEN, NEW JERSEY

**OWNER:**  
NJCC

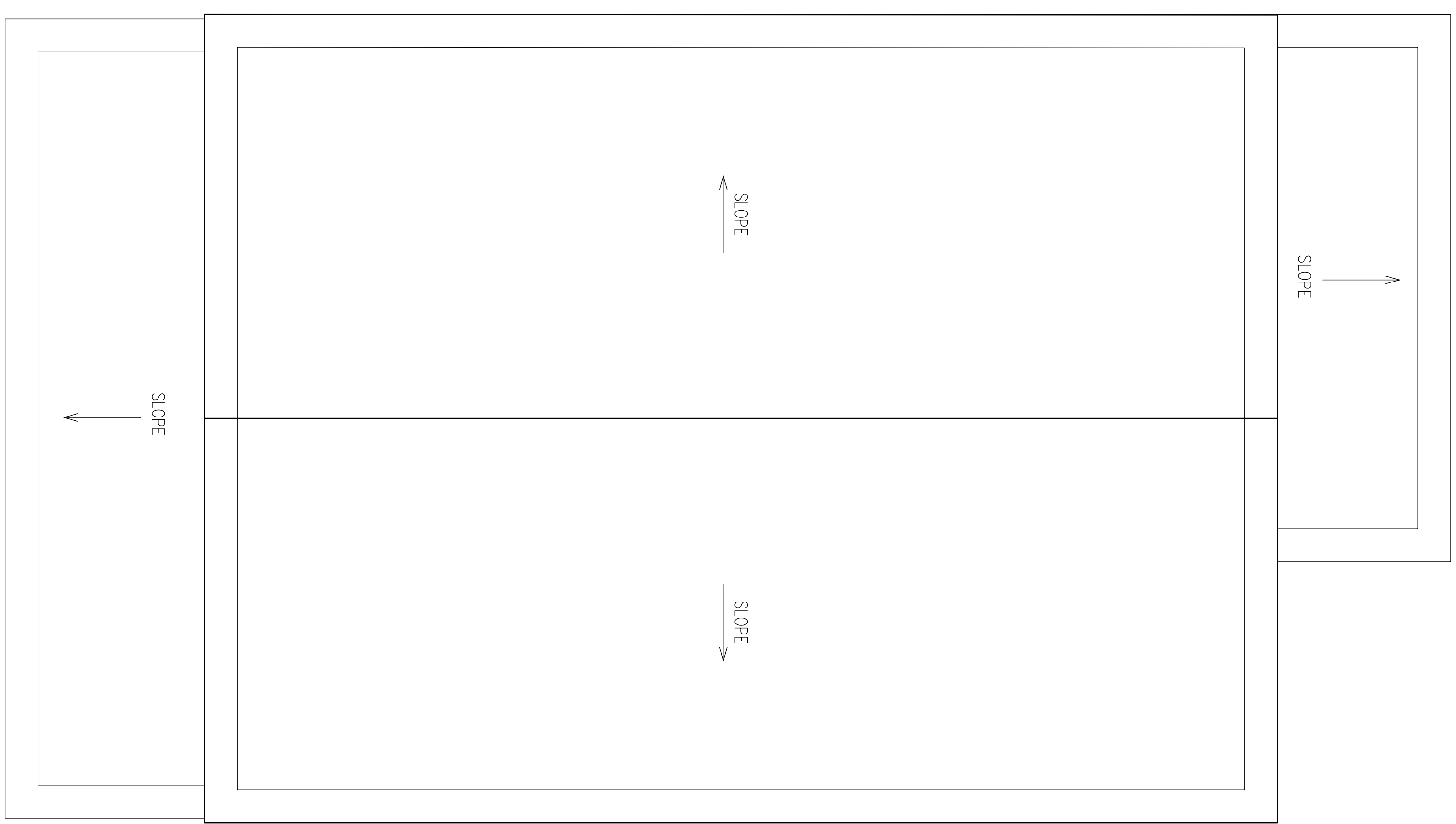
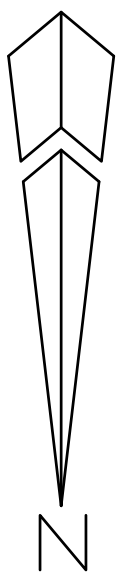
**SUBMISSIONS:**  
ZONING SUBMISSION 05.25.2020

**REVISIONS:**

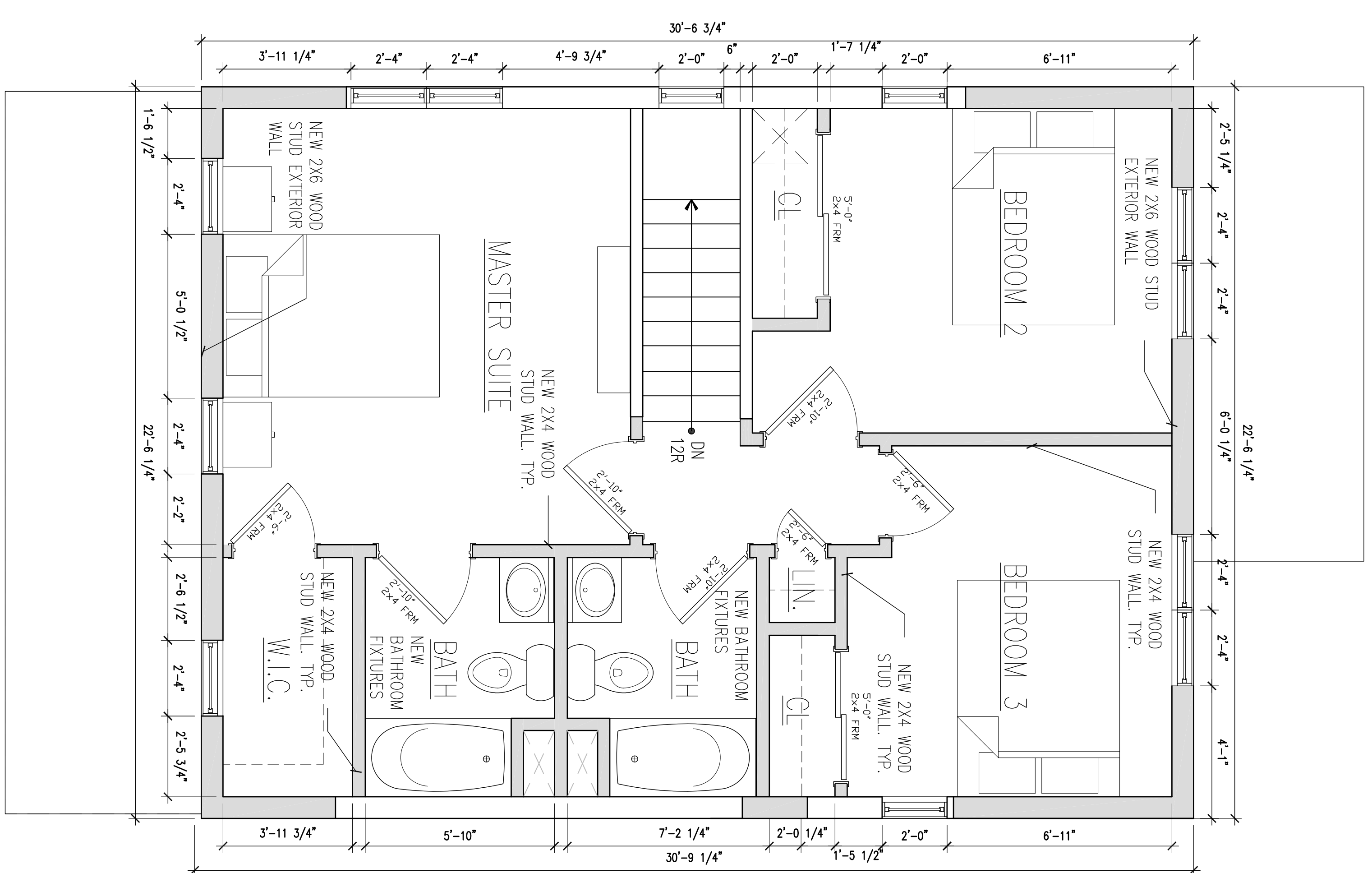
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PROPOSED BUILDING ELEVATIONS

**SHEET:**  
D-200





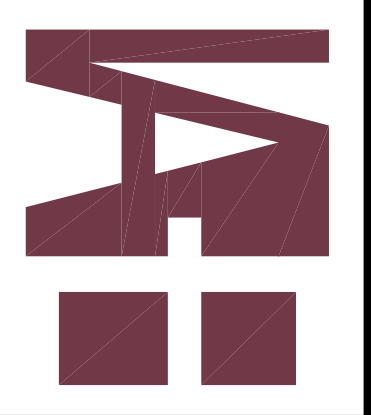
2 PROPOSED ROOF PLAN  
SCALE: 3/8" = 1'-0"



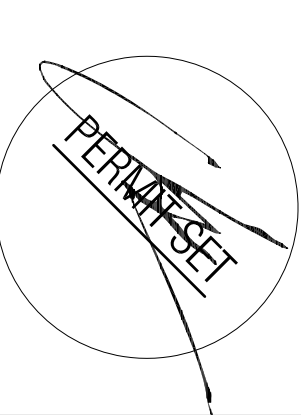
1 PROPOSED SECOND FLOOR PLAN  
SCALE: 3/8" = 1'-0"

**LEGEND**

- INDICATES STUD PARTITIONS - 4" OR 6" NOMINAL WOOD STUDS @ 16" O.C. & FINISHES (SEE DRAWINGS FOR SIZE & FINISHES)
- INDICATES EXISTING STUD PARTITIONS TO REMAIN
- UN-RATED EXTERIOR FRAME WALL
- 3/8" METAL STUD @ 16" O.C. (20 GA.) W/ R-19 BATT INSULATION TO BE I.I.W. / 1/2" THICK WOOD RESISTANT GYPSUM BOARD ON INT. SIDE (SEE DRAWINGS FOR FINISHES)
- 1" GAP TO STUD
- EXISTING BAREMENT WALL
- EXHAUST FAN DUCTED TO EXTERIOR
- DUPLEX RECEPTACLE OUTLET MOUNTED AT 1'-6" AFF.
- GROUND FAULT INTERRUPT RECEPTACLE MOUNTED AT COUNTER HEIGHT 3'-6" AFF.
- WATERPROOF RECEPTACLE OUTLET MOUNTED AT 1'-0" AFF.
- RANGE OUTLET, PREP. OUTLET
- WASHING MACHINE OUTLET
- SINGLE POLE LIGHT FIXTURE SWITCH
- THREE WAY FIXTURE SWITCH
- SURFACE MOUNTED LIGHT FIXTURE (SELECTED BY OWNER)
- RECESSED LIGHT FIXTURE (SELECTED BY OWNER)
- INCANDESCENT / LED LIGHT FIXTURE (SELECTED BY OWNER)
- RATED FIRE WET LOCATION LIGHT FIXTURE (SELECTED BY OWNER)
- WALL MOUNTED NIT / EXT. INCANDESCENT / LED LIGHT FIXTURE (SELECTED BY OWNER)
- CHANDELIER (SELECTED BY OWNER)
- INTERCONNECT SMOKE/CARBON MONOXIDE DETECTOR HARDWIRED TO EXIST. ELECTRICAL SYSTEM WITH BATTERY BACK-UP
- SD / CO
- HEAT DETECTOR
- LANTERN BOX SEE FOR DETAILS



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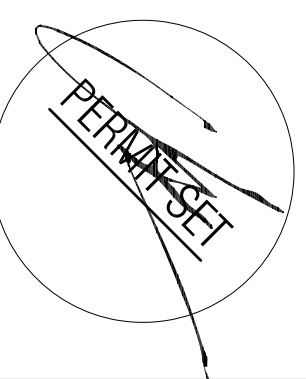
**SUBMISSIONS:**  
 ZONING SUBMISSION 06.25.2020

**REVISIONS:**


**DATE PROJECT NO.:** 19071

**SHEET TITLE:** PROPOSED FLOOR PLANS

**SHEET:** A-101



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DESCRIPTION \_\_\_\_\_

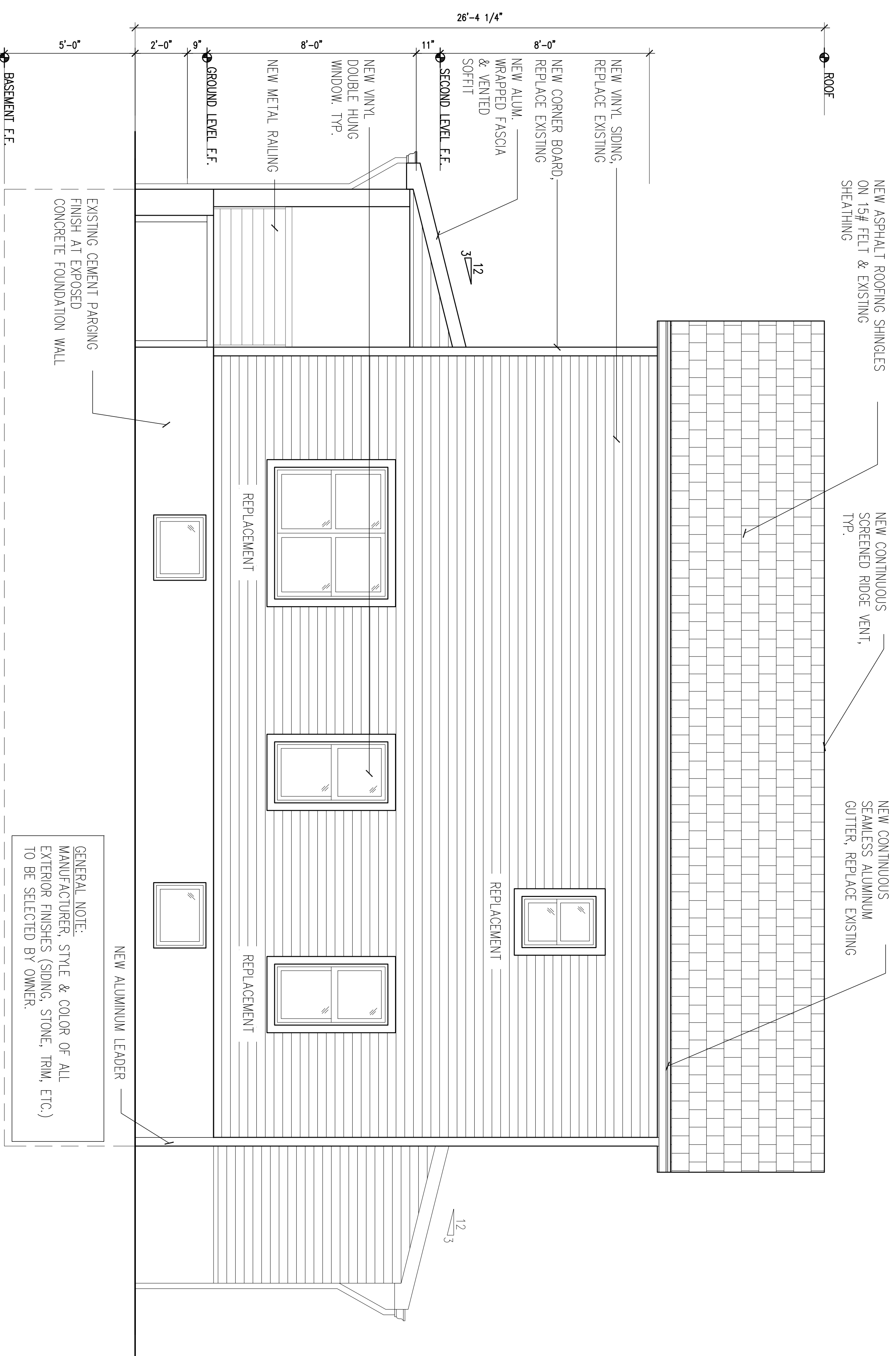
**SHEET TITLE:**

PROPOSED ELEVATIONS

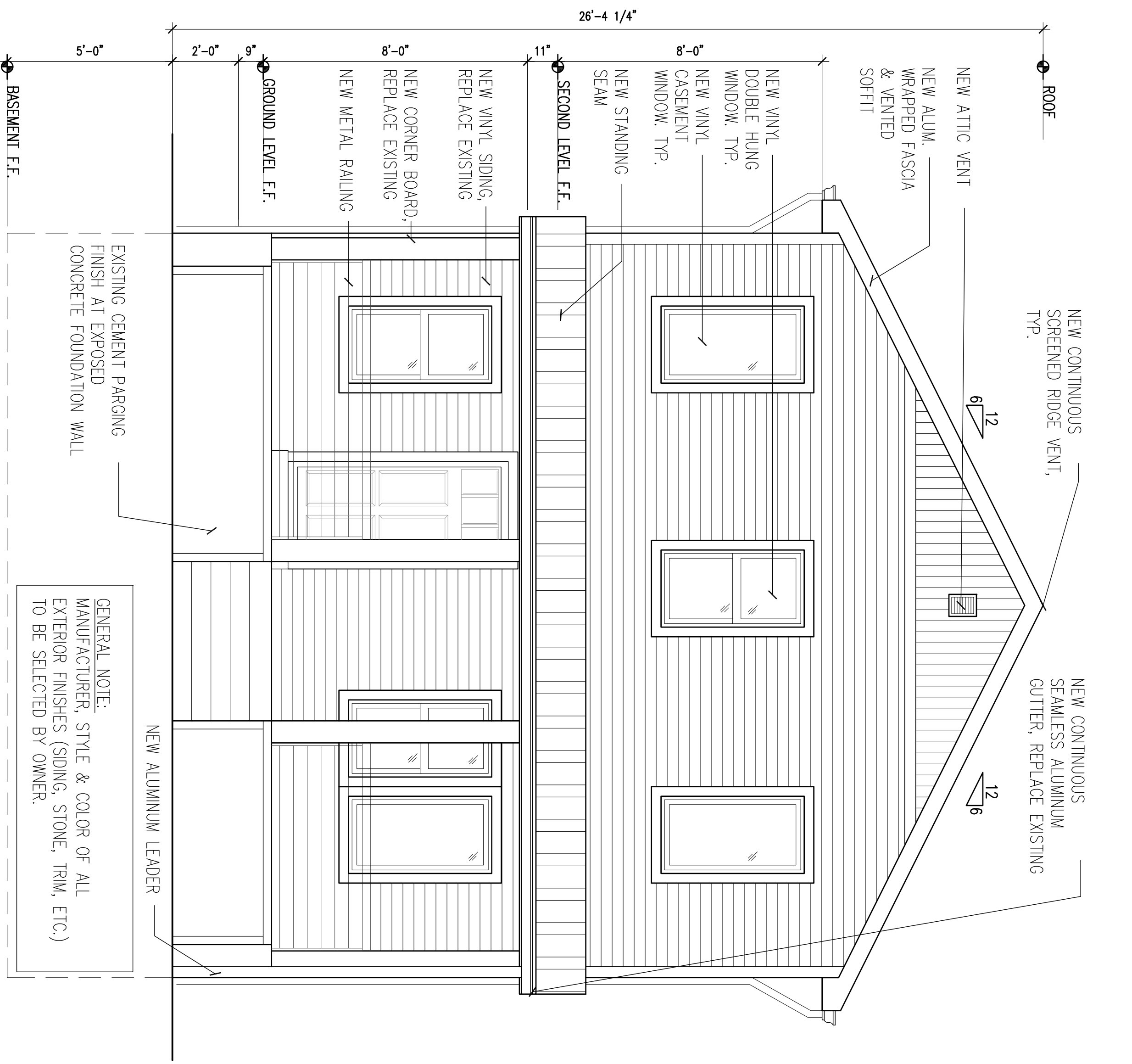
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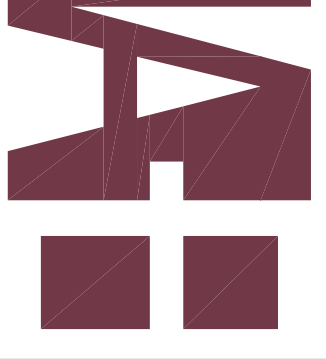
A-200



**2** PROPOSED SIDE ELEVATION  
SCALE: 3/8" = 1'-0"

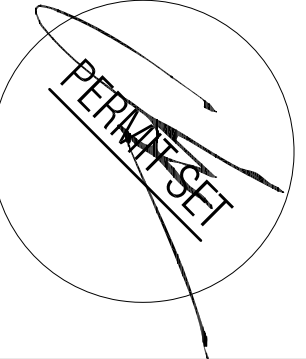


**1** PROPOSED FRONT ELEVATION  
SCALE: 3/8" = 1'-0"



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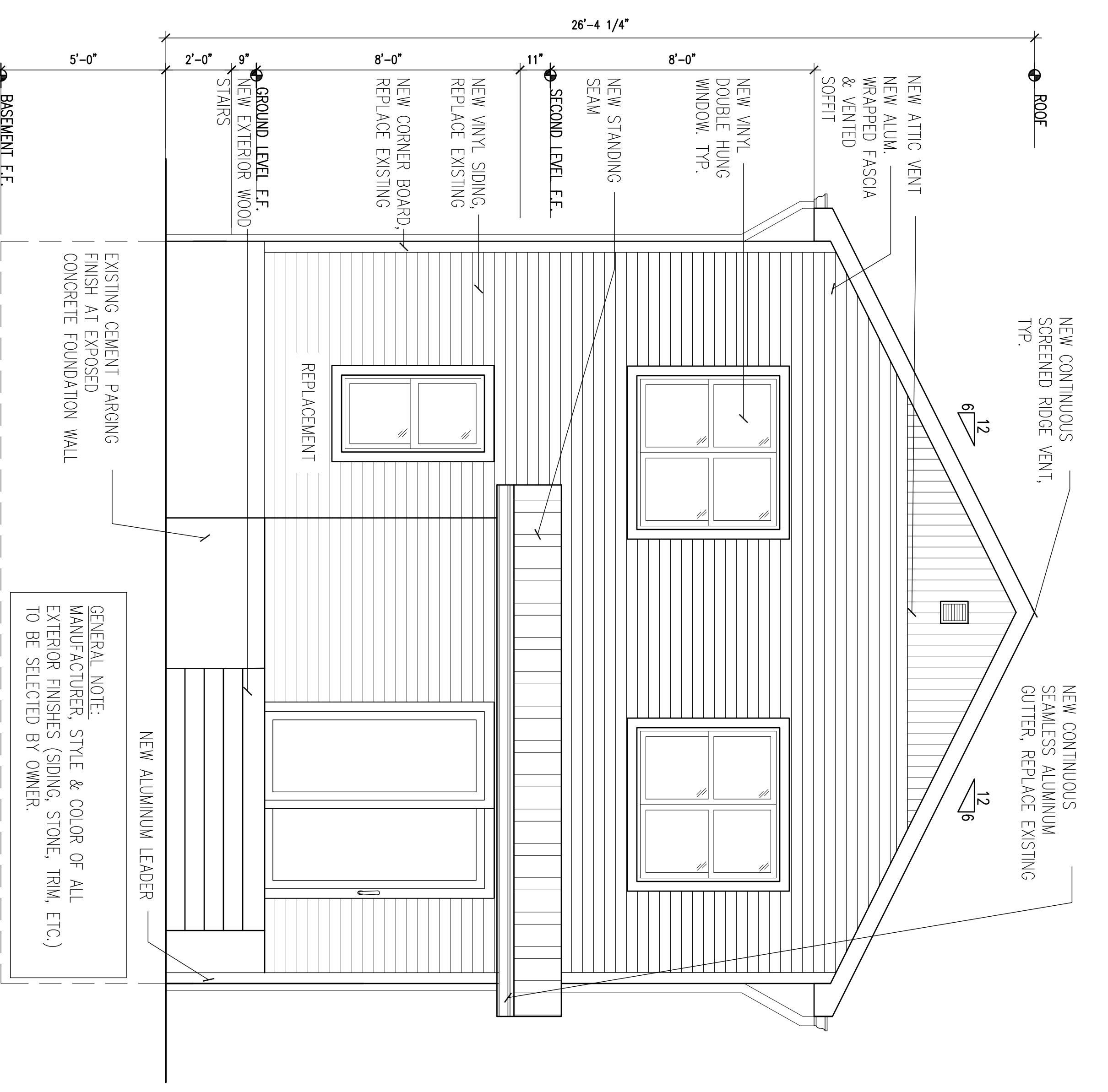
NO.	DESCRIPTION

DATE PROJECT NO. 19071

**SHEET TITLE:**  
PROPOSED ELEVATIONS

**SHEET:**

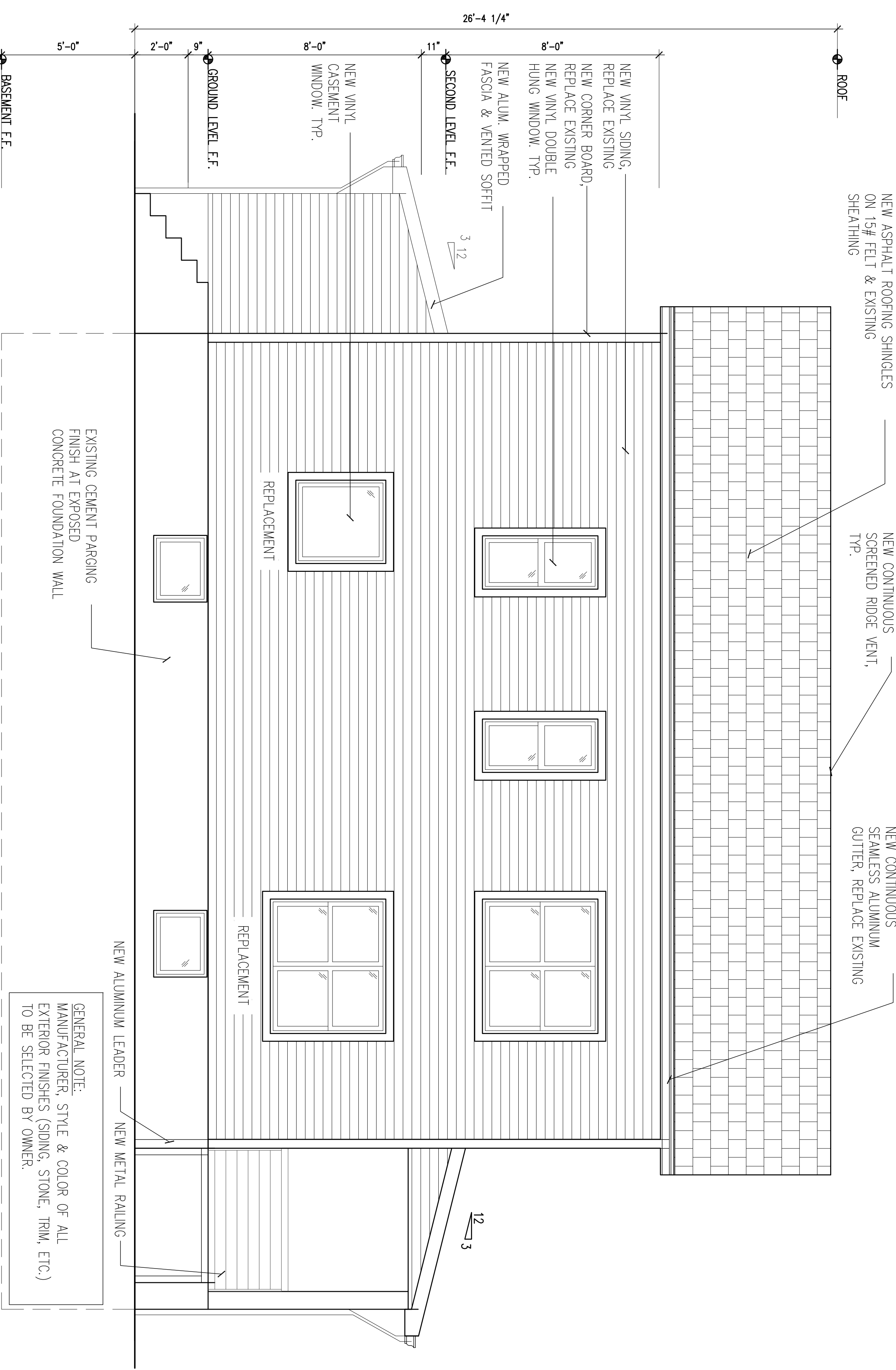
A-201



GENERAL NOTE:  
MANUFACTURER, STYLE & COLOR OF ALL EXTERIOR FINISHES (SIDING, STONE, TRIM, ETC.) TO BE SELECTED BY OWNER.

EXISTING CEMENT PARKING FINISH AT EXPOSED CONCRETE FOUNDATION WALL

**1** PROPOSED REAR ELEVATION  
SCALE: 3/8" = 1'-0"



GENERAL NOTE:  
MANUFACTURER, STYLE & COLOR OF ALL EXTERIOR FINISHES (SIDING, STONE, TRIM, ETC.) TO BE SELECTED BY OWNER.

EXISTING CEMENT PARKING FINISH AT EXPOSED CONCRETE FOUNDATION WALL

**2** PROPOSED SIDE ELEVATION  
SCALE: 3/8" = 1'-0"