



BOROUGH OF METUCHEN

MIDDLESEX COUNTY

Tel. (732) 632-8540 • Fax (732) 632-8100 • 500 Main Street • Metuchen, N.J. 08840

APPLICATION FOR DEVELOPMENT

Control Information (Office Use Only)

21-1314

Application Number

Aamir Motiwala

Applicant Name

11-5-21

Date Received

12-10-21

Date Deemed Complete

1. Application

A. Location

Street Address 326 DURHAM AVE METUCHEN, NJ 08840

Block 40 Lot 37 Zone R-2

Situated on NORTH side of DURHAM AVE

distant 0 feet from WESTING HOUSE STREET

B. The Site is Located:

- Within 200' of Edison Township Adjacent to County Road Adjacent to State Highway

C. Status:

- New Revision or Resubmission of Prior Application No. _____

D. Type (Check all that Apply):

- Concept Preliminary Final Conditional Use Approval
 Minor Site Plan Major Site Plan Minor Subdivision Major Subdivision
 (a) - Appeal (b) - Interpretation (c) - Variance (Bulk) (d) - Variance (Use)
 Request for Waiver of Submission Requirements Other _____

E. Nature of Relief or Variance Request (List Ordinance Reference Sections)

variance requested existing minimum lot, area
to minimum lot width. minimum side yard setback
(left & right)

F. Date and Disposition of any previous Board Hearings involving this Site

None Known

G. Plat Submission (List maps and other exhibits accompanying this application)

Proposed Construction Plans by Architect Thom
Riggio & Landscape Plan by Fletcher Engineering
inc.

2. Applicant Information

A. Applicant

First Name AAMIR Phone 732-233-4744
Last Name MOTIWALA Phone _____
Street Address 5266 Foster St Fax _____
City / State Piscataway / NJ Zip 08854 Email AAMIRALI@HOTMAIL.COM

B. Applicant is a/an:

Individual Partnership Corporation Other _____

C. Applicant's Relationship to Owner:

Owner Lessee Purchaser Under Contract Other _____

D. Owner (If other than Applicant, requires Owner's Consent on Page 6)

First Name _____ Phone _____
Last Name _____ Phone _____
Street Address _____ Fax _____
City / State _____ Zip _____ Email _____

3. Applicant's Experts

A. Attorney (Required if Applicant is a Corporation; must be a licensed in the State of New Jersey)

Name John WILEY Phone 732-494-6099
Street Address 216 Amboy AVE Fax _____
City / State METUCHEN/NJ Zip 08840 Email John@wileylavender.com

B. Engineer

Name Paul J Fletcher Phone 732-738-8809
Street Address 54 W Pond Rd Fax _____
City / State Hope Lawn, NJ Zip 08861 Email Paul.j.fletcher@comcast.net

C. Architect

Name JOHN RIGGIO Phone 732-402-2882
Street Address 172 main St #33 Fax _____
City / State METUCHEN/NJ Zip 08840 Email John-8eusa.net

D. Other Professional Consultants

Name _____ Phone _____
Street Address _____ Fax _____
City / State _____ Zip _____ Email _____

4. Plat / Plan Data

A. Present Use of Land / Structure

single family residence

B. Proposed Use of Land / Structure

single family residence

C. Building Data

Existing :	Floor Area:	1372.49 sq/ft	Height in Stories & Feet:	1 story 15 ft
Addition:	Floor Area:	1577.83	Height in Stories & Feet:	1 story 15 ft
New Bldg:	Floor Area:	1577.83	Height in Stories & Feet:	1 story 15 ft
Total Floor Area:		2950.32		2 story 30 ft

D. Subdivision Data

Area: Entire Tract: _____ Portion being subdivided: _____
No. of Lots: Present _____ Proposed: _____
No. of Units: Demolished: _____ Proposed: _____
Purpose: _____

E. Non-Residential Use Data

	Present	Proposed
Total Floor Area of Building:	_____	_____
Floor Area to be Occupied:	_____	_____
Off-Street Parking:	_____	_____
Number of Employees:	_____	_____
Days & Hours of Operation:	_____	_____
Machinery / Equipment Used:	_____	_____
	_____	_____
	_____	_____
Description of Operation(s)	_____	_____
	_____	_____
	_____	_____

5. Request for Bulk Variance

A. Bulk Regulations

	District Requirements	Present	Proposed	Variance
Min. Lot Area	7500 sq/ft	6250 sq/ft	6250 sq/ft	<input checked="" type="checkbox"/>
Min. Lot Width	62.5 ft	50 ft	50 ft	<input checked="" type="checkbox"/>
Min. Lot Depth (Average)	100 ft	125 ft	125 ft	<input type="checkbox"/>
Min. Front Yard Setback	28.79 ft	36.4	28.99	<input type="checkbox"/>
Min. Side Yard Setback (Left)	25 ft	17.2 ft	17.2 ft	<input checked="" type="checkbox"/>
Min. Side Yard Setback (Right)	8 ft	3.5 ft	3.5 ft	<input checked="" type="checkbox"/>
Min. Side Yard Setback (Combined)	18 ft	20.7 ft	20.7 ft	<input type="checkbox"/>
Min. Rear Yard Setback	25 ft	33 ft	31 ft	<input type="checkbox"/>
Max. Building Coverage	30%	22%	24%	<input type="checkbox"/>
Max. Impervious Coverage	50%	30%	32%	<input type="checkbox"/>
Max. Height	35 ft	15 ft	30 ft	<input type="checkbox"/>

B. Describe below the nature of the constraints imposed by the physical characteristics of the property.

The existing house is placed irregular on the property

C. Describe below any other exceptional conditions of the property that prevent the applicant from complying with the Zoning Ordinance.

It is on existing small lot.

D. Describe below how not granting this variance request would impose difficulties or undue hardship upon you.

The existing house is too small. Need to add second floor to make a decent size house for a family.

E. Describe below how the granting of the variance request will not result in substantial detriment to the public good nor substantially impair the intent and purpose of the Zone Plan and the Zoning Ordinance.

The new proposal house will match the same size houses which are constructed on the same block.

6. Request for Conditional Use Approval / Use Variance

A. Describe below the specifics of the request.

B. Describe below the special reasons which exist that support the granting of the request.

C. Describe below how the public interest will be served by the granting of the request.

D. Describe below what circumstances exist or what measures will be taken to ensure that, if the request is granted, the surrounding property owners will experience no adverse impact or undue burden.

E. Describe below how the granting of the request will not result in substantial detriment to the public good nor substantially impair the intent and purpose of the Zone Plan and the Zoning Ordinance.

7. Correspondence

A. Person to be contacted in regard to all matters pertaining to this Application (if other than Applicant)

First Name _____ Phone _____
Last Name _____ Phone _____
Street Address _____ Fax _____
City / State _____ Zip _____ Email _____

8. Verification and Authorization

I, THE UNDERSIGNED, HEREBY MAKE APPLICATION FOR AN APPLICATION FOR DEVELOPMENT ONLY FOR THE LOCATION AND THE WORK DESCRIBED HEREIN AND CERTIFY TO THE ACCURACY OF THAT INFORMATION. I ACKNOWLEDGE THAT IT IS MY RESPONSIBILITY TO BE AWARE OF AND COMPLY WITH ALL ZONING REQUIREMENTS OF THE BOROUGH OF METUCHEN RELATING TO THIS APPLICATION. I UNDERSTAND THAT FAILURE TO PROVIDE ACCURATE INFORMATION OR TO COMPLY WITH ANY PROVISIONS OF THE APPLICATION RENDERS IT NULL AND VOID AND MAY RESULT IN AN ENFORCEMENT ACTION.

CONSTRUCTION OF IMPROVEMENTS WILL NOT BE COMMENCED AT THE ABOVE LOCATION UNTIL THE APPLICANT/OWNER IS IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS REGARDING ZONING AND PROPERTY MAINTENANCE AS DEFINED BY THE CODE OF THE BOROUGH OF METUCHEN. THIS APPLICATION AND ASSOCIATED APPROVALS DO NOT WAIVE ANY OTHER RESTRICTIONS OR REGULATIONS IMPOSED PRIVATELY OR BY LAW.

A. Applicant's Verification

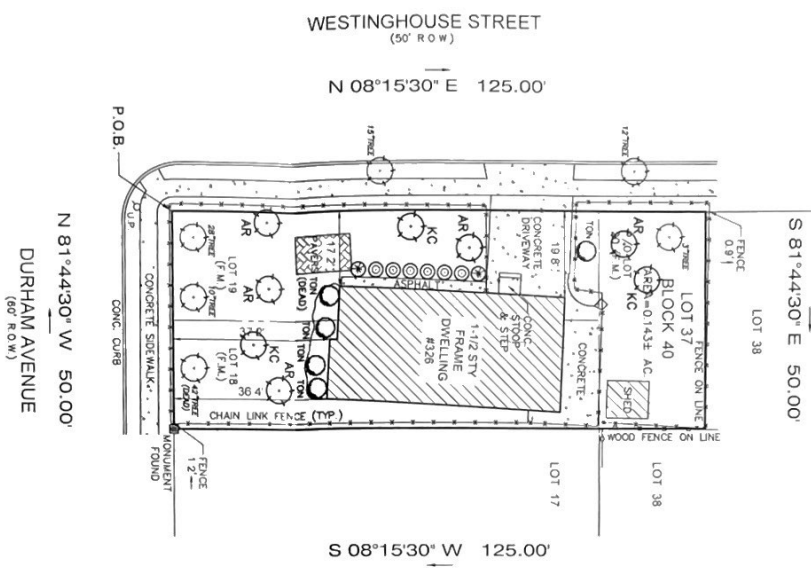
I HEREBY CERTIFY THE STATEMENTS CONTAINED IN THIS APPLICATION ARE TRUE.

Name AAMIR MOTIWACA Date 11/29/21
Signature _____

B. Owner's Authorization

I HEREBY CERTIFY THAT I AM THE OWNER OF RECORD OF THE PROPERTY DESCRIBED HEREON AND THAT I CONCUR WITH THE DOCUMENTS PRESENTED TO THE PLANNING BOARD / ZONING BOARD OF ADJUSTMENT. I HEREBY AUTHORIZE THE APPLICANT TO SUBMIT THIS APPLICATION FOR DEVELOPMENT.

Name AAMIR MOTIWACA Date 11/29/21
Signature _____
Telephone & Fax Number: 732-233-4744



TREE REPLACEMENT REQUIREMENTS

TOTAL NUMBER OF ON-SITE TREES: 9
 NUMBER OF EXISTING TREES 10" DBH AND GREATER WITH DEVELOPMENT AREA: 0
 NUMBER OF TREES TO BE REMOVED: 0
 NUMBER OF TREES OF DBH AND GREATER WITH DEVELOPMENT AREA TO BE REMOVED: 0
 TOTAL NUMBER OF REPLACEMENT TREES REQUIRED (SEE CALCULATIONS BELOW): 0

TREE REPLACEMENT CALCULATIONS

EXISTING TREE SIZE	NUMBER REMOVED	REPLACEMENT VALUE
6"-12"	0	3
12"-18"	0	4
18"-24"	0	5
24"-30"	0	7
30"-36"	0	10
TOTAL REPLACEMENT TREES REQUIRED:		0

STREET TREES

REMOVED 1 TREE PER 35 FT. OF FRONTAGE = 5 REQUIRED
 EXISTING 4 STREET TREES
 PROPOSED 1 STREET TREE

FRONT YARD TREES

REMOVED 1 TREE PER 50 FT. OF FRONTAGE = 7 REQUIRED
 EXISTING 1 TREE
 PROPOSED 7 TREES

LANDSCAPE SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
AR	ACER NUMBUR	RED MAPLE	2 1/2"-5" CAL.	5
KC	KAWANSA CHERRY	KAWANSA CHERRY	2 1/2"-5" CAL.	3

FOUNDATION PLANTINGS

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE AT MATURITY	QUANTITY
+	ABELIA X GRANDIFLORA	GLOSSY ABELIA	3"-6"	2
⊙	SPIRAEA X BOWALDA ANTHONY WALTER	ANTHONY WALTER BOWALDA SPIRAEA	3"-4"	6

BING COMMONLY KNOWN AS 378 DURHAM AVENUE, METUCHEN, NEW JERSEY
 BEING KNOWN AND DESIGNATED AS LOT 37 IN BLOCK 40 AS SHOWN ON THE TAX MAP OF THE BOROUGH OF METUCHEN,
 SHEET NO. 801
 BEING ALSO KNOWN AS ALL OF LOTS 18 & 19 AND PART OF LOT 20 AS SHOWN ON A MAP ENTITLED "REVISED MAP OF
 141 BUILDING LOTS, PROPERTY OF JOSEPH BERGIN, AND TERESA BERGIN, METUCHEN, NEW JERSEY," FILED IN THE
 MIDDLESEX COUNTY CLERK'S OFFICE ON 08/23/1923 AS MAP NO. 1022 IN FILE NO. 593

LANDSCAPE PLAN
 PREPARED FOR
 326 DURHAM AVENUE
 LOT 37 IN BLOCK 40
 MIDDLESEX COUNTY, NEW JERSEY

FLETCHER ENGINEERING, INC. ENGINEERS • SURVEYORS • PLANNERS

P.O. Box 339 • Fords, NJ 08863 • Phone 732-738-8809 • Fax 732-738-6727

PAUL J. FLETCHER, P.E., P.P.
 PROFESSIONAL ENGINEER N.J. LIC. NO. 32041

SCALE	DATE	FILE NO.	MARK NO.
1"=20'	09-22-21	905921	1022/393
DATE	DATE	DATE	DATE
09-22-21	09-22-21	09-22-21	09-22-21
BY	BY	BY	BY
EFJ	EFJ	EFJ	EFJ
SHEET	SHEET	SHEET	SHEET
1 OF 1	1 OF 1	1 OF 1	1 OF 1



FREEHOLD SOIL CONSERVATION DISTRICT

(Serving Middlesex and Monmouth Counties)

4000 Kozloski Road, P.O. Box 5033
Freehold, New Jersey 07728-5033
Tel: (732) 683-8500
Fax: (732) 683-9140
E-mail: info@freeholdscd.org
Website: www.freeholdsoil.org

12/9/2021

GRAND HOME INVESTMENTS LLC
5266 FOSTER STREET
PISCATAWAY NJ 08854

Ref.#: 0012-C796
Proj.: 326 DURHAM AVENUE
Twp. : METUCHEN
Block: 40
Lots : 37

**PROJECT EXEMPT
ADDITIONS / IMPROVEMENTS TO EXISTING SINGLE FAMILY DWELLINGS**

Dear GRAND HOME INVESTMENTS LLC,

This is to inform you that in accordance with the New Jersey Soil Erosion and Sediment Control Act; N.J.S.A. 4:24-39 et. seq., Chapter 251, P.L. 1975 and as amended by C. 264, P.L. 77 and C. 459, P.L. 79, a project is defined as "any disturbance of more than 5,000 square feet of the surface area of land for the accommodation of construction for which the State Uniform Construction Code would require a construction permit, except that the construction of a single-family dwelling unit shall not be deemed a 'project' under the act unless such unit is part of a proposed subdivision, site plan, conditional use, zoning variance, planned development or construction permit application involving two or more such single-family units,..."

In reference to the above site, improvements to a dwelling do not require certification of a Soil Erosion and Sediment Control plan. Should construction of a second dwelling or offsite soil disturbance greater than 5,000 square feet occur, certification of a Soil Erosion and Sediment Control plan would be required.

If you should have any questions, please feel free to contact our office.

Sincerely,


Holly Reynolds

cc: Planning Board
Construction Official
Municipal Engineer
Applicant's Engineer

ADDITION AND ALTERATION TO ONE FAMILY HOUSE

326 DURHAM AVENUE, METUCHEN, NJ 08840

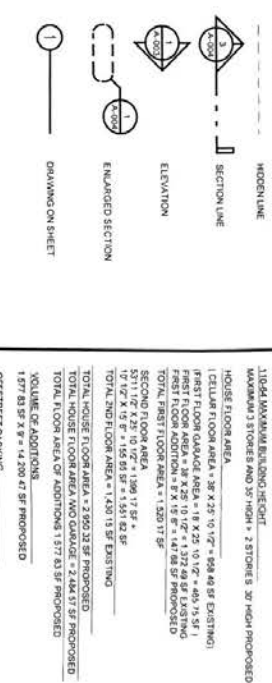
GENERAL NOTES

- CONSTRUCTION NOTES**
1. THE REINFORCING STRENGTH OF THE REINFORCED CONCRETE FOR FOUNDATIONS AND CONCRETE SLABS MUST BE A MINIMUM OF 3 BARS PER FOOT OF CONCRETE.
 2. CONCRETE DESIGN MEETS AMERICAN CONCRETE INSTITUTE (ACI) CODE 31805. CONCRETE SHALL CONSIST OF CEMENT, WATER, AND AGGREGATE.
 3. MASONRY IS TO BE METS PER ACI 11 REQUIREMENTS.
 4. BRICK MUST MEET ASTM SPECIFICATIONS FOR BRICK AND MORTAR. MORTAR IS TO BE "N" NORMAL MORTAR. BRICK SHALL BE 8" NOMINAL SIZE BRICK UNLESS OTHERWISE SPECIFIED. "N" NORMAL GROUT IS TO BE USED.
 5. BLOCK IS TO BE GRADE "N" NORMAL AND MORTAR IS TO BE "N" NORMAL MORTAR. CONCRETE SHALL BE 31805.
 6. THE CONCRETE CONTRACTOR MUST VERIFY PROPER CONCRETE PSI AT TIME OF POUR.
 7. UNREINFORCED LENGTH AND HEIGHTS SHOULD NOT EXCEED AND ACI 11 STANDARDS.
 8. THE CONCRETE CONTRACTOR MUST VERIFY PROPER CONCRETE PSI AT TIME OF POUR.
 9. METAL AND STEEL.
 10. THE STEEL USED SHOULD BE ASTM A36 ALL PURPOSE CARBON GRADE STEEL. CS DRY OR METALS.
 11. STEEL SHAPES AND CONNECTIONS ARE TO MEET AISC STANDARDS. PROVIDE WELDED WIRE STRAINERS FOR ALL STEEL SHAPES.
 12. METAL STUD WALLS SPECIFIED AT 12" O.C. AND 16" O.C. ARE TO HAVE 1/2" THICK STUDS ON 16" O.C. VERTICALLY AND BRACING AT THE CORNERS.
 13. METAL STUD WALLS ARE NOT TO EXCEED THE MAXIMUM HEIGHT ALLOWED BY THE MANUFACTURER'S SPECIFICATIONS.
 14. WELDING IS TO MEET AWS D1.1 AND THE AISC SPECIFICATIONS. PROVIDE CONTROLS ALL AROUND WELDING AT CONNECTIONS.
 15. WOOD.
 16. STRUCTURAL WOOD MEMBERS ARE TO BE DOUGLASS SPRUCE, 2X6 PSY. STRUCTURAL GRADE LUMBER AND ORANGE STAINED. CS1. PROTECT ALL WOOD FROM WEATHER AND DISCOLORATION.

ABBREVIATIONS

ABV	ABOVE	INST	INSTALL
ADD	ADDITION	JB	JUNCTION BOX
ADH	ADHESIVE	LAM	LAMINATE
BD	BOARD	LL	LINE LOAD
BLD	BUILDING	MO	MASONRY OPENING
CLD	CENTER LINE	NTS	NOT TO SCALE
CONG	CONSTRUCTION	OC	OUTSIDE CENTER
DEG	DEGREE	OD	OUTSIDE DIAMETER
DR	DOOR	PL	PLATE
EQP	EQUIPMENT	PI	PAINT
EXP JT	EXPANSION JOINT	RI	RADIUS
FIN	FINISH	RS	STAINLESS STEEL
FLG	FLOOR DRAIN	STD	STANDARD
FTG	FOOTING	TEL	TELEPHONE
GAR	GARAGE	UND	UNDER
GRM	GRASS	V	VOLUME
HT	HIGH	W	WOOD
HTL	HORIZONTAL	WD	WOOD

SYMBOLS



SITE CALCULATIONS

326 DURHAM AVENUE, METUCHEN, NJ 08840
 BLOCK 40, LOT 37
 USE GROUP = R-3 - ONE FAMILY RESIDENTIAL
 ZONING DISTRICT = TYPE 58 WOOD FRAME
 ZONING DISTRICT = R-2 RESIDENTIAL DISTRICT
 BOROUGH OF METUCHEN ZONING CODE

1.564 BULK REQUIREMENTS

MINIMUM LOT AREA = 10,000 SF
 MINIMUM LOT FRONT WIDTH = 30 FT
 MINIMUM LOT DEPTH = 125 FT
 MINIMUM LOT FRONT SETBACK = 25 FT
 MINIMUM LOT REAR SETBACK = 25 FT
 MINIMUM LOT SIDE SETBACK = 10 FT
 MINIMUM LOT FRONT SETBACK = 10 FT
 MINIMUM LOT REAR SETBACK = 10 FT
 MINIMUM LOT SIDE SETBACK = 10 FT

1.564 BULK REQUIREMENTS

MINIMUM LOT AREA = 10,000 SF
 MINIMUM LOT FRONT WIDTH = 30 FT
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 MINIMUM LOT FRONT SETBACK = 25 FT
 MINIMUM LOT REAR SETBACK = 25 FT
 MINIMUM LOT SIDE SETBACK = 10 FT
 MINIMUM LOT FRONT SETBACK = 10 FT
 MINIMUM LOT REAR SETBACK = 10 FT
 MINIMUM LOT SIDE SETBACK = 10 FT

ENERGY CALCULATIONS

CONFORMS TO NEW JERSEY STATE ENERGY CODE 2019 BECC
 LOCATION: METUCHEN, NJ
 PROJECT TYPE: ADDITION
 HEATING DEGREE DAYS: 5271 HDD
 CLIMATE CODE: 4
 AIR-SEALING: 19.0 ACH50

ADDITION AND ALTERATION

ELEMENTS	AREA	U-VALUE	CONTRIBUTION	WINTER WATT/HR	SUMMER BTU/HR
WALL	340	13	5	633	178
CEILING	340	25	5	52	14
FLOOR	340	15	5	011	18
DOORS	78	1	5	34	6
BASEMENT	48	20	0.90	20	24
ROOF	340	15	5	52	14
GLAZING	100	1.0	100	100	100

BASEMENT U/A ALLOWED 77% > 268 PROVIDED COMPLIANCE PASSES

MIN. THERMAL BATTLES

DOORS: 5 CHANG. REQ. = 5 CHANG. SPECIFIED
 WINDOWS: 37 CHANG. REQ. = 37 CHANG. SPECIFIED

PERMITS

CONSTRUCTION
 ELECTRICAL
 PLUMBING
 MECHANICAL

INSPECTIONS

1. EXCAVATION
2. FOUNDATION
3. ROOFING
4. FINISH

STRUCTURAL REQ.

CONFORMS TO NEW JERSEY CODE TABLE 1607.1
 REQUIRED LIVE LOADS

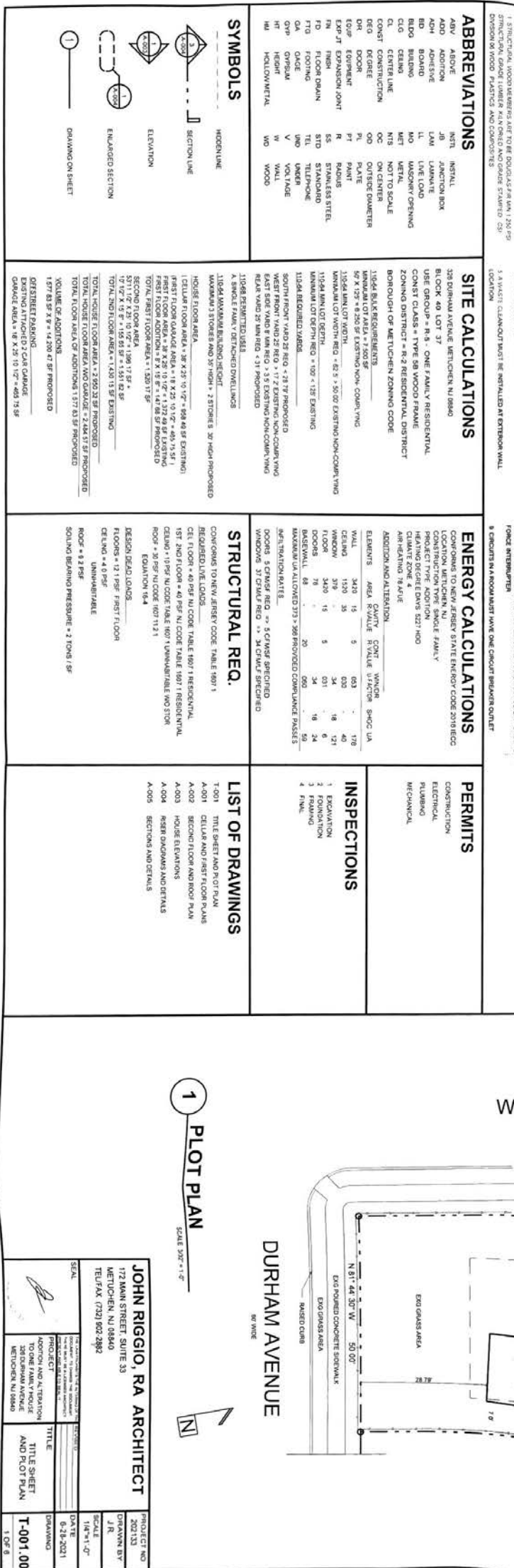
CEILING FLOOR = 40 PSF
 FLOOR FLOOR = 40 PSF
 FLOOR ROOF = 1607.1 RESIDENTIAL
 CEILING = 10 PSF
 FLOOR ROOF = 1607.1 RESIDENTIAL
 ROOF = 30 PSF
 EQUATION 16.4

DESIGN DEAD LOADS

FLOORS = 12 PSF
 CEILING = 4.0 PSF
 UNINHABITABLE
 ROOF = 4.2 PSF
 SOLID BEARING PRESSURE = 2 TONS / SF

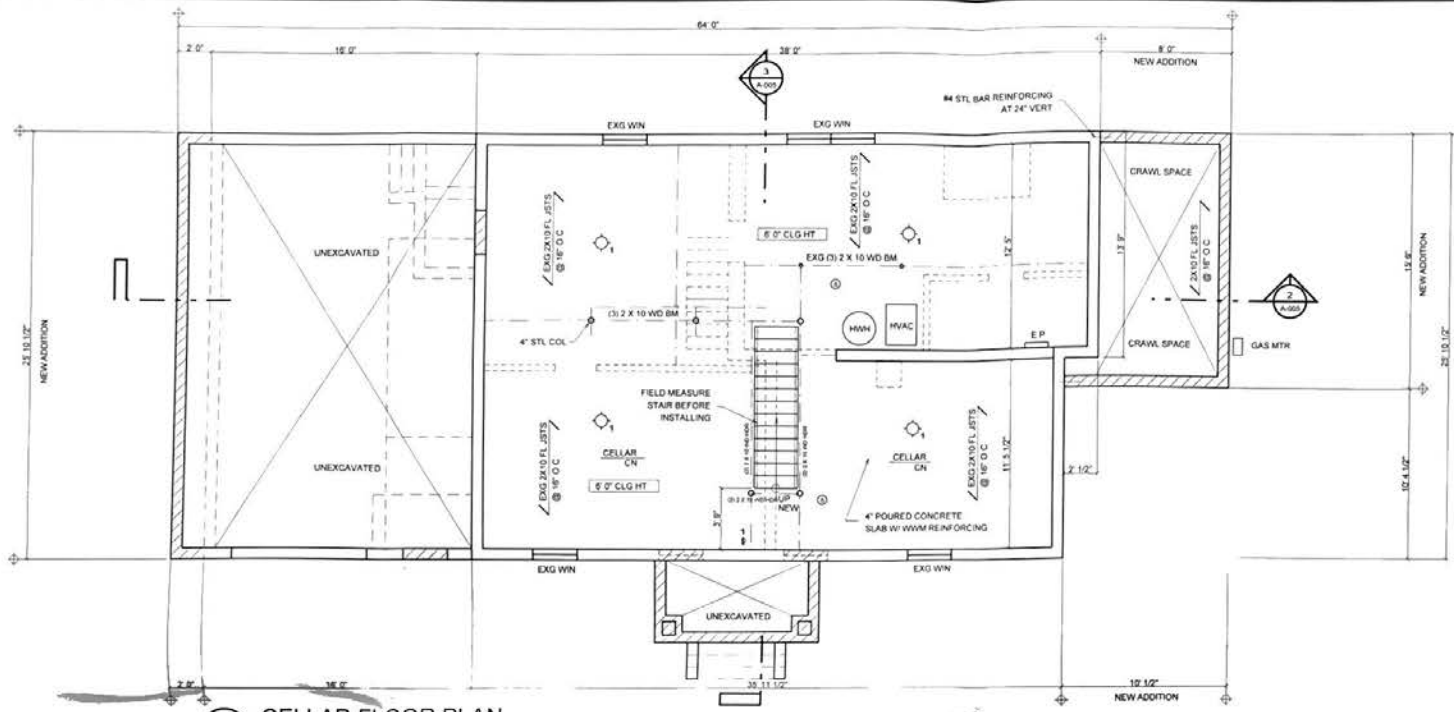
LIST OF DRAWINGS

- T-001 TITLE SHEET AND PLOT PLAN
- A-001 SECOND AND FIRST FLOOR PLANS
- A-002 SECOND FLOOR AND ROOF PLAN
- A-003 HOUSE ELEVATIONS
- A-004 ROOF ELEVATIONS AND DETAILS
- A-005 SECTIONS AND DETAILS

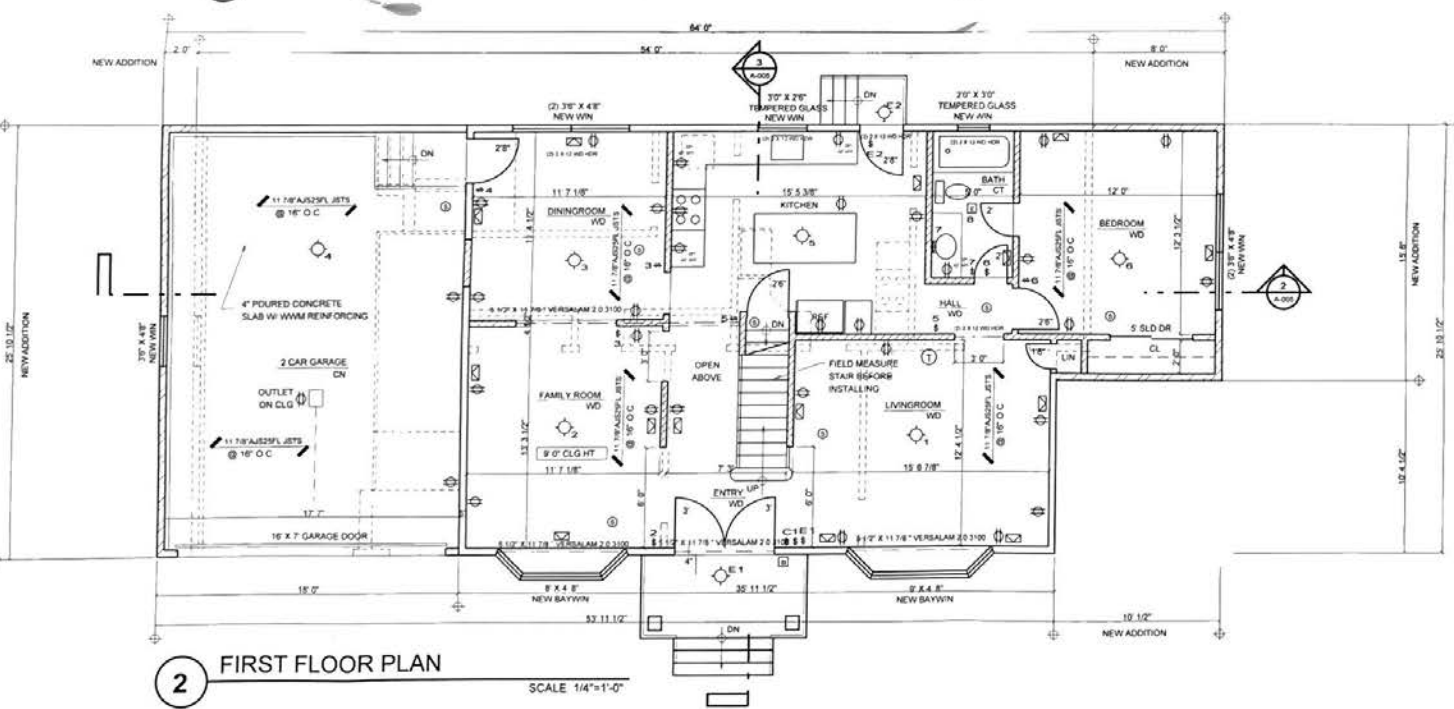


1 PLOT PLAN
 SCALE: 3/32" = 1'-0"

JOHN RIGGIO, RA ARCHITECT 172 MAIN STREET, SUITE 33 METUCHEN, NJ 08840 TELEFAX: (732) 952-2982	PROJECT NO: 202133 DRAWN BY: J.R. DATE: 08-11-20 SCALE: 1/8" = 1'-0"
PROJECT: ADDITION AND ALTERATION TO ONE FAMILY HOUSE, 326 DURHAM AVENUE, METUCHEN, NJ 08840	TITLE: TITLE SHEET AND PLOT PLAN
DATE: 08-11-20	PROJECT NO: 202133
SCALE: 1/8" = 1'-0"	DRAWING: 1 OF 8



1 CELLAR FLOOR PLAN
SCALE 1/4"=1'-0"



2 FIRST FLOOR PLAN
SCALE 1/4"=1'-0"

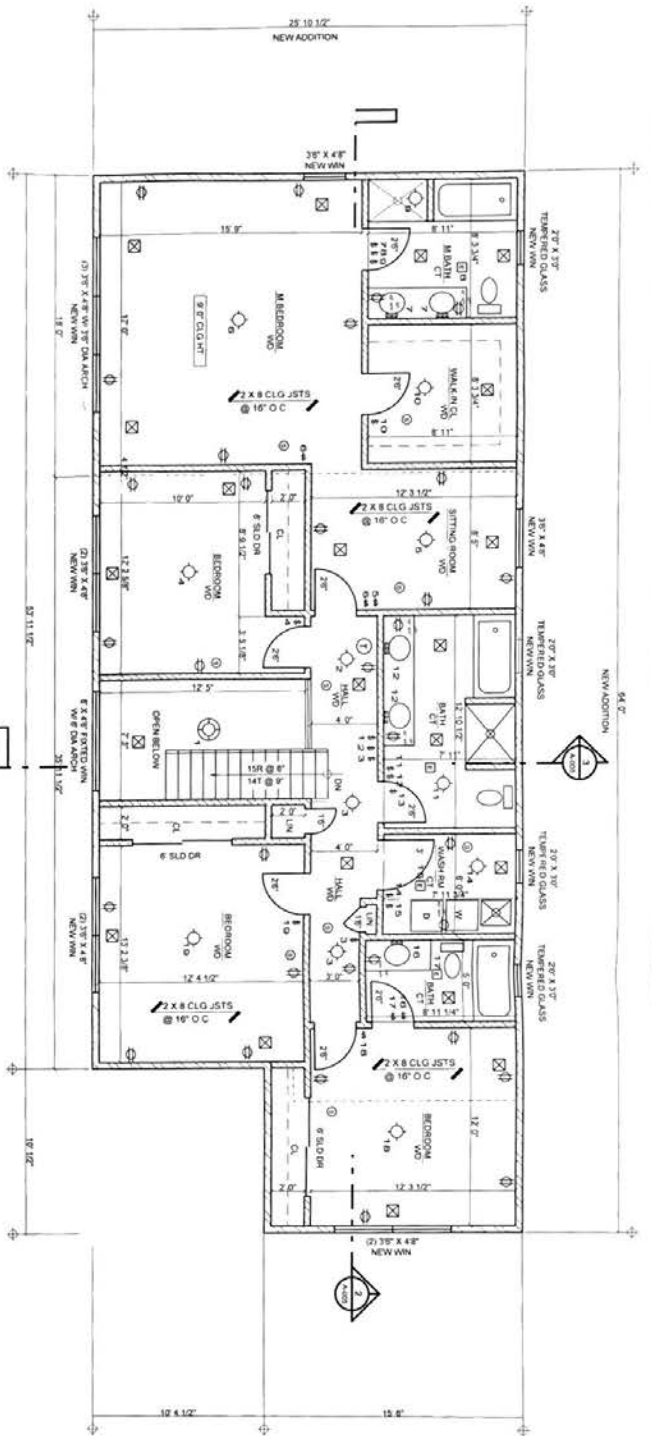
SYMBOL LEGEND

- SURFACE MOUNTED LIGHT FIXTURE MAX 100W BULBS
- RECESSED MOUNTED LIGHT FIXTURE MAX 100W BULBS
- CEILING HUNG LIGHT FIXTURE MAX 100W BULBS
- SURFACE MOUNTED INCANDESCENT VANITY LIGHT FIXTURE (3) MAXIMUM 100W BULBS
- RECESSED EXHAUST FAN MINIMUM 80 CFM
- DUPLEX RECEPTICAL OUTLET, GFI IF INDICATED
- ELECTRICAL CONNECTION
- ELECTRICAL WALL SWITCH, NUMBER INDICATES DEVICE
- SMOKE AND CARBON MONOXIDE DETECTOR HARD WIRED
- TELEPHONE JACK
- THERMOSTAT CONTROL
- DOOR BELL
- EXTERIOR FLOOD LIGHT FIXTURE (2) MAXIMUM 100W BULBS
- CEILING HUNG FAN LIGHT
- FLUSH MOUNTED RETURN AIR VENT
- AIR DIFFUSER

WALL LEGEND

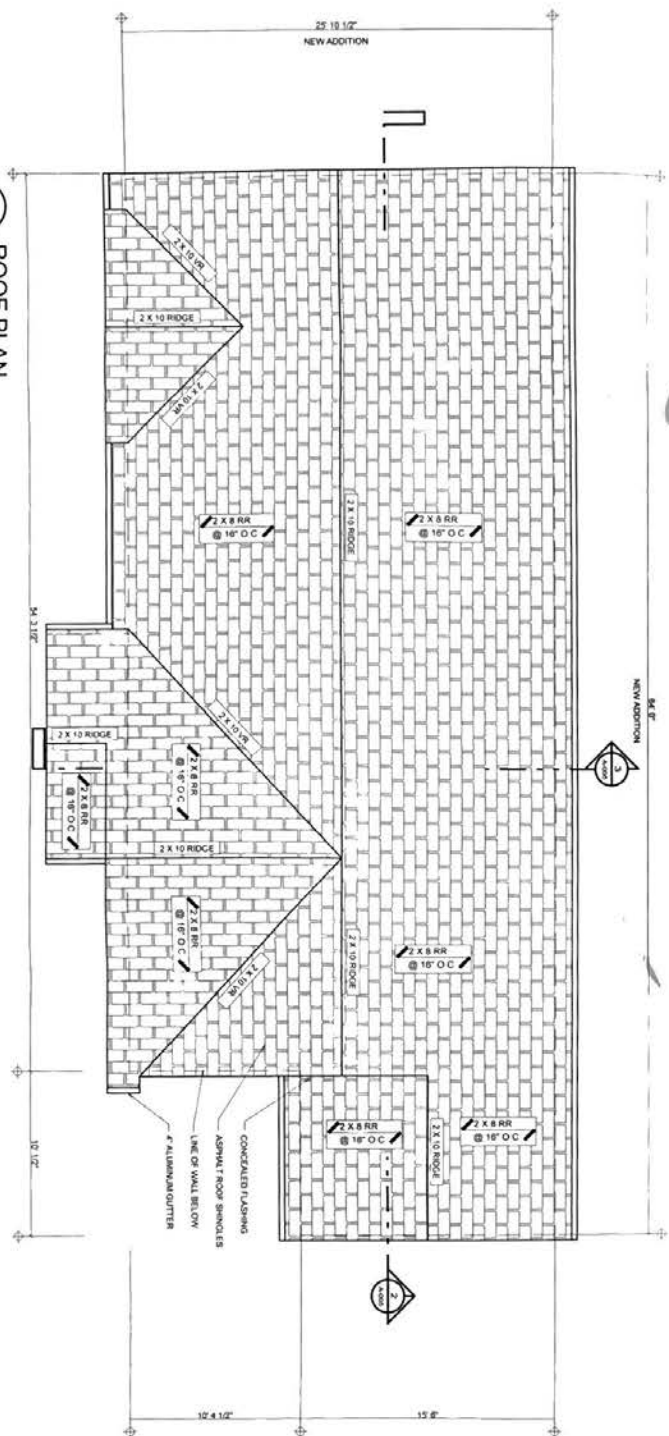
- POURED CONCRETE WALL
- 2 X 4 WOOD STUD WALL @ 16" O C W/ 1/2" GYPSUM BD ON EACH SIDE
- 2X4 OR 2X6 WOOD STUD WALL @16" O C W/ 1/2" GYP BD ON INT AND 1/2" CDX PLY ON EXT WITH 1" RIGID INSULATION BOARD WITH DRYVIT FINISH SYSTEM AND 3 1/2" BATT MIN INSULATION R=15 AND VAPOR BARRIER ON INT SIDE
- 2 X 4 WOOD STUD WALL @ 16" O C W/ 5/8" FIRE RESISTIVE GYPSUM BD TYPE "C" ON EACH SIDE AND 3 1/2" BATT INSULATION R=15 1 HR RATED WALL GA WP3605 UL U305, ULC W301
- 2 X 4 WOOD STUD WALL @16" O C W/ 1/2" WATER RESISTIVE BD ON WET SIDE AND 1/2" GYPSUM BD ON DRY SIDE
- EXISTING WALL
- WALL TO BE REMOVED

JOHN RIGGIO, RA ARCHITECT 172 MAIN STREET, SUITE 33 METUCHEN, NJ 08840 TEL/FAX: (732) 902-2882		PROJECT NO	202133
		DRAWN BY	J.R.
PROJECT ADDITION AND ALTERATION TO ONE FAMILY HOUSE 328 DURHAM AVENUE METUCHEN, NJ 08840		SCALE	1/4" = 1'-0"
		DATE	8-28-2021
TITLE	CELLAR AND FIRST FLOOR PLANS	DRAWING	A-001.00
		2 OF 8	



1 SECOND FLOOR PLAN

SCALE 1/4"=1'-0"



2 ROOF PLAN

SCALE 1/4"=1'-0"

SYMBOL LEGEND

- SURFACE MOUNTED LIGHT FIXTURE MAX 100W BULBS
- RECESSED MOUNTED LIGHT FIXTURE MAX 100W BULBS
- CEILING HUNG LIGHT FIXTURE MAX 100W BULBS
- SURFACE MOUNTED INCANDESCENT VANITY LIGHT FIXTURE (1) MAXIMUM 100W BULBS
- RECESSED EXHAUST FAN MINIMUM 80 CFM
- DUPLEX RECEPTICAL OUTLET GFI IF INDICATED
- ELECTRICAL CONNECTION
- ELECTRICAL WALL SWITCH NUMBER INDICATES DEVICE
- SMOKE AND CARBON MONOXIDE DETECTOR (HARD WIRED TELEPHONE JACK)
- THERMOSTAT CONTROL
- DOOR BELL
- EXTERIOR FLOOD LIGHT FIXTURE (2) MAXIMUM 100W BULBS
- CEILING HUNG FAN LIGHT
- FLUSH MOUNTED RETURN AIR VENT
- AIR DIFFUSER

WALL LEGEND

- ▨ POURED CONCRETE WALL
- ▨ 2 X 4 WOOD STUD WALL @ 16" O C W/ 1/2" GYPSUM BD ON EACH SIDE
- ▨ 2X4 OR 2X6 WOOD STUD WALL @ 16" O C W/ 1/2" GYP BD ON INT AND 1/2" CDX PLY ON EXT WITH 1" RIGID INSULATION BOARD WITH DRYVAT FINISH SYSTEM AND 3/4" BATT MIN INSULATION R-15 AND VAPOR BARRIER ON INT SIDE
- ▨ 2 X 4 WOOD STUD WALL @ 16" O C W/ 1/2" FIRE RESISTIVE GYPSUM BD TYPE 'C' ON EACH SIDE AND 1/2" CDX PLY ON EXT WITH 1 HR RATED WALL GA WP3500 UL U300 D.L.C W901
- ▨ 2 X 4 WOOD STUD WALL @ 16" O C W/ 1/2" GYP RESISTIVE BD ON INT SIDE AND 1/2" GYPSUM BD ON EXT SIDE
- ▨ EXISTING WALL
- ▨ WALL TO BE REMOVED

JOHN RIGGIO, RA ARCHITECT

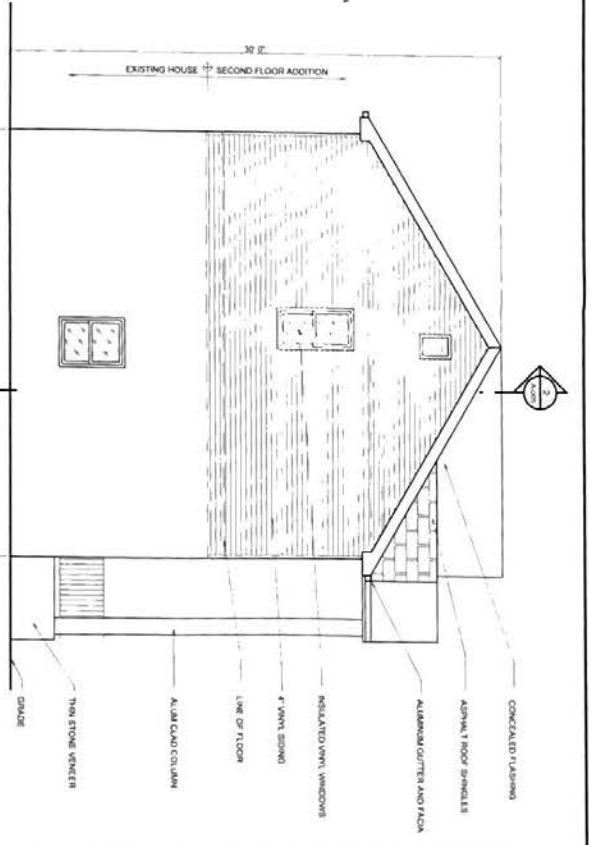
172 MAIN STREET, SUITE 33
 METUCHEN, NJ 08840
 TEL/FAK (732) 892-2822

PROJECT	TITLE	DATE
ADDITION AND ALTERATION TO EXISTING	FIRST AND SECOND FLOOR PLANS	6-28-2021
SCALE	PROJECT NO	DRAWING
1/4" = 1'-0"	2021.13	A-002.00
	DESIGNED BY	3 OF 8
	JR	



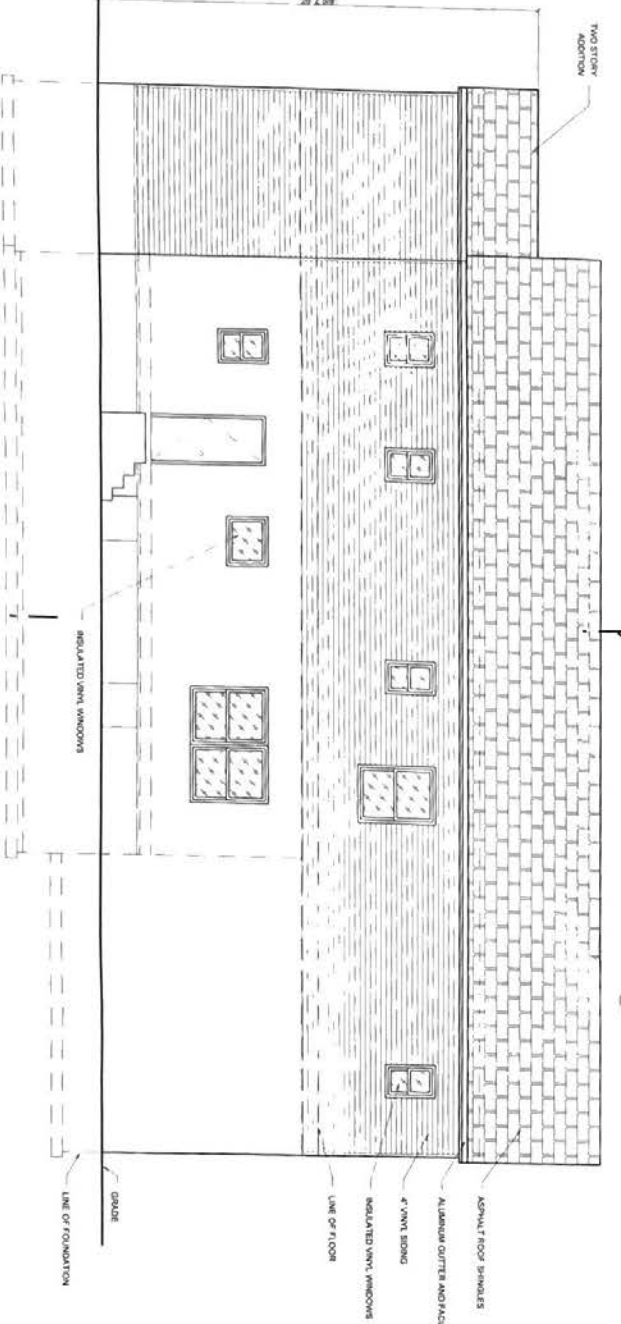
1 FRONT ELEVATION

SCALE 1/4"=1'-0"



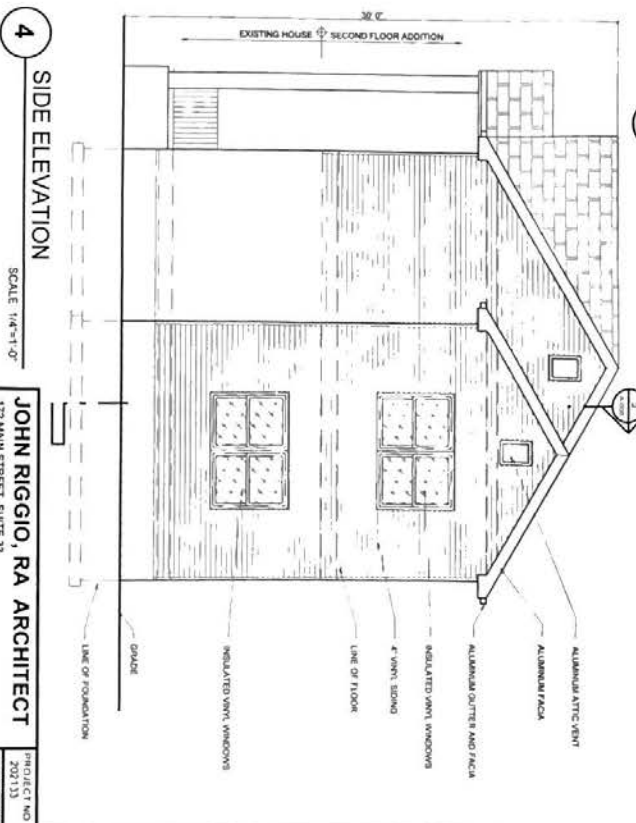
2 SIDE ELEVATION

SCALE 1/4"=1'-0"



3 REAR ELEVATION

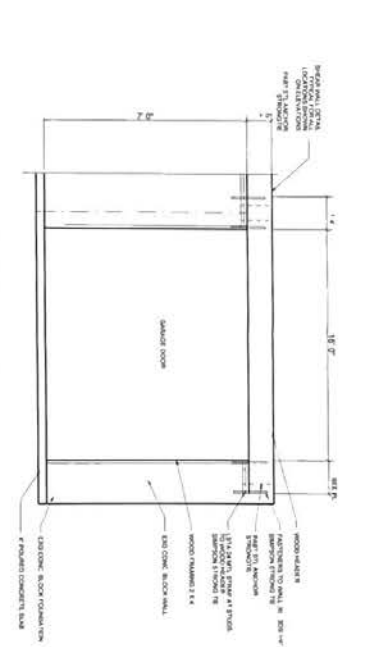
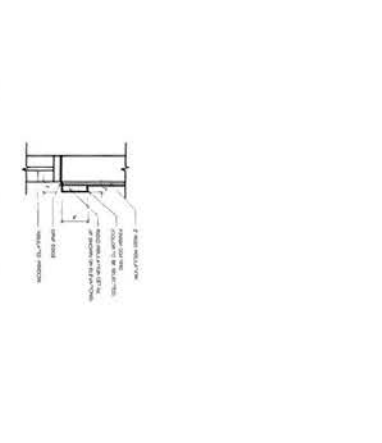
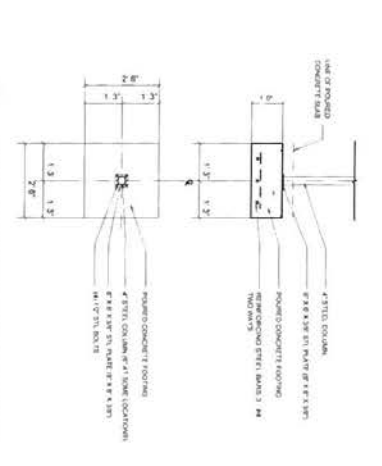
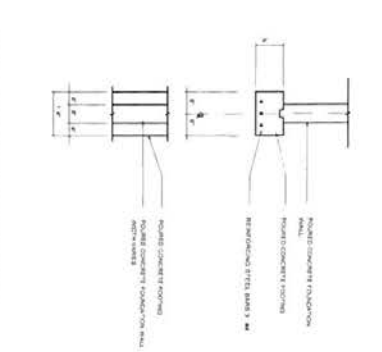
SCALE 1/4"=1'-0"



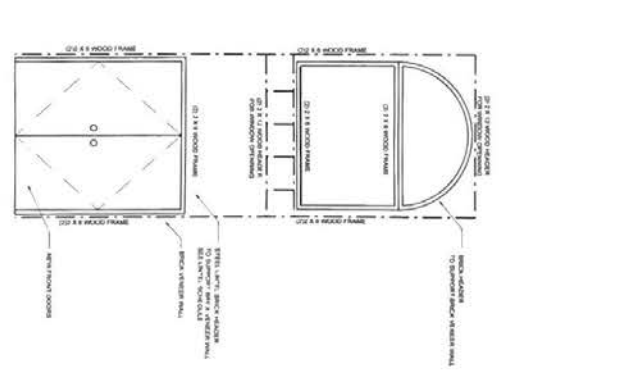
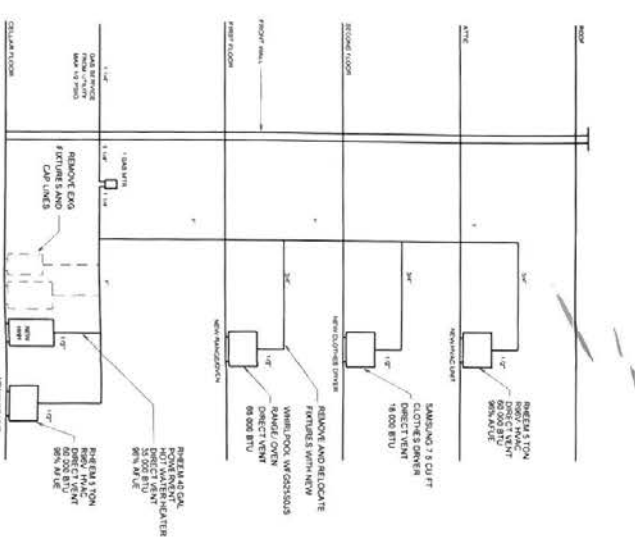
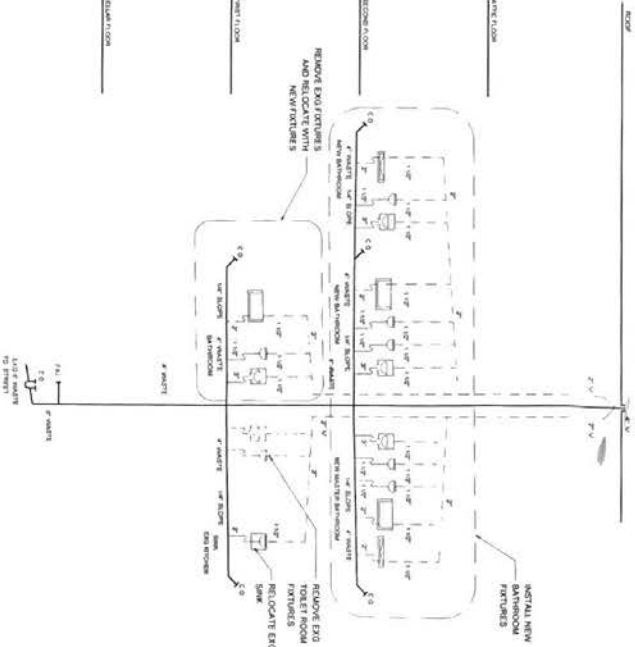
4 SIDE ELEVATION

SCALE 1/4"=1'-0"

<p>JOHN RIGGIO, RA ARCHITECT 172 MAIN STREET, SUITE 33 METUCHEN, NJ 08840 TEL/FAX (732) 902-2882</p>		<p>PROJECT NO. 202133</p> <p>DATE 6-28-2021</p> <p>SCALE 1/4" = 1'-0"</p>
<p>PROJECT ADDITION AND ALTERATION 120 OSBORN AVENUE METUCHEN, NJ 08840</p>	<p>TITLE HOUSE ELEVATIONS</p>	<p>PRODUCT NO. 202133</p> <p>DRAWN BY J.R.</p> <p>SCALE 1/4" = 1'-0"</p>
<p>SCALE</p>		<p>DATE 6-28-2021</p> <p>DRAWING A-003.00</p> <p>4 OF 8</p>

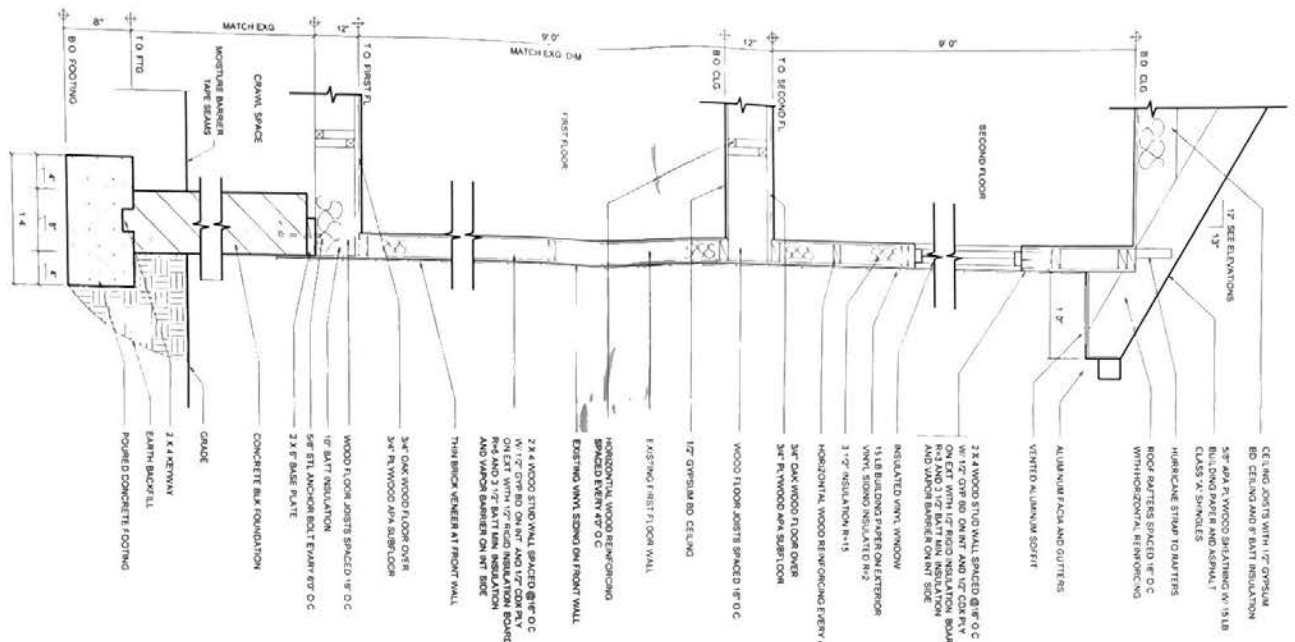


SHEAR WALL NOTES
1. ALL REBAR SHALL BE EPOXY COATED
2. ALL REBAR SHALL BE LAP SPUN
3. ALL REBAR SHALL BE 60,000 PSI
4. ALL REBAR SHALL BE #4 UNLESS NOTED OTHERWISE
5. ALL REBAR SHALL BE 18" ON CENTER UNLESS NOTED OTHERWISE
6. ALL REBAR SHALL BE 45 DEGREE HOOKS UNLESS NOTED OTHERWISE
7. ALL REBAR SHALL BE 4" FROM FACE UNLESS NOTED OTHERWISE
8. ALL REBAR SHALL BE 1" FROM FACE UNLESS NOTED OTHERWISE
9. ALL REBAR SHALL BE 1/2" FROM FACE UNLESS NOTED OTHERWISE
10. ALL REBAR SHALL BE 3/4" FROM FACE UNLESS NOTED OTHERWISE
11. ALL REBAR SHALL BE 1" FROM FACE UNLESS NOTED OTHERWISE
12. ALL REBAR SHALL BE 1/2" FROM FACE UNLESS NOTED OTHERWISE
13. ALL REBAR SHALL BE 3/4" FROM FACE UNLESS NOTED OTHERWISE
14. ALL REBAR SHALL BE 1" FROM FACE UNLESS NOTED OTHERWISE
15. ALL REBAR SHALL BE 1/2" FROM FACE UNLESS NOTED OTHERWISE
16. ALL REBAR SHALL BE 3/4" FROM FACE UNLESS NOTED OTHERWISE
17. ALL REBAR SHALL BE 1" FROM FACE UNLESS NOTED OTHERWISE
18. ALL REBAR SHALL BE 1/2" FROM FACE UNLESS NOTED OTHERWISE
19. ALL REBAR SHALL BE 3/4" FROM FACE UNLESS NOTED OTHERWISE
20. ALL REBAR SHALL BE 1" FROM FACE UNLESS NOTED OTHERWISE



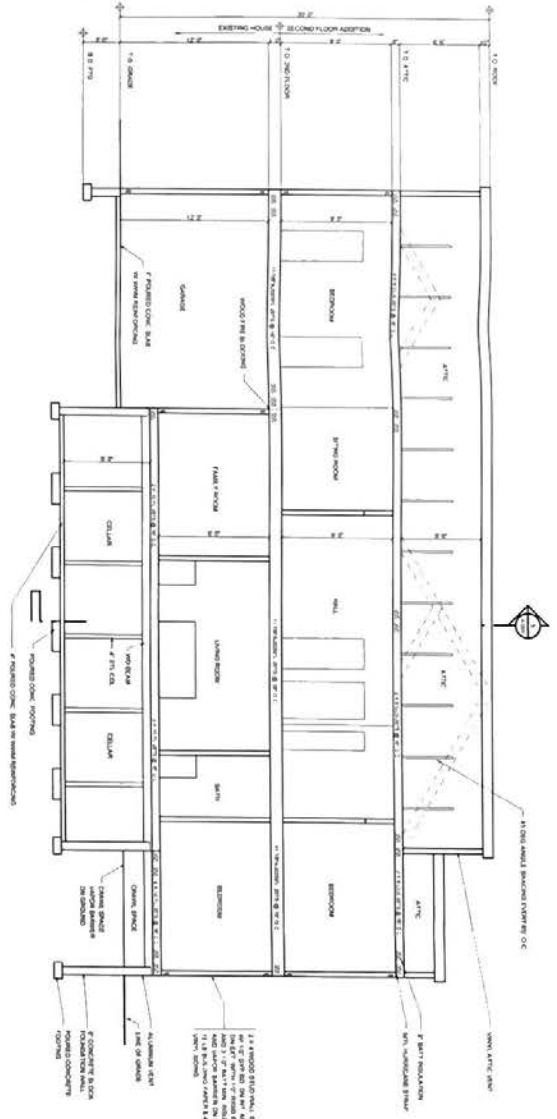
JOHN RIGGIO, RA ARCHITECT
172 MAIN STREET SUITE 3J
METUCHEN, NJ 08840
TEL: FAX (732) 892-2882

PROJECT NO.	DATE
202111	8-28-2021
DRAWN BY	SCALE
118	1/8" = 1'-0"
TITLE	PROJECT
RISER DIAGRAMS AND DETAILS	172 MAIN STREET SUITE 3J METUCHEN, NJ 08840
A-004.00	5 OF 8



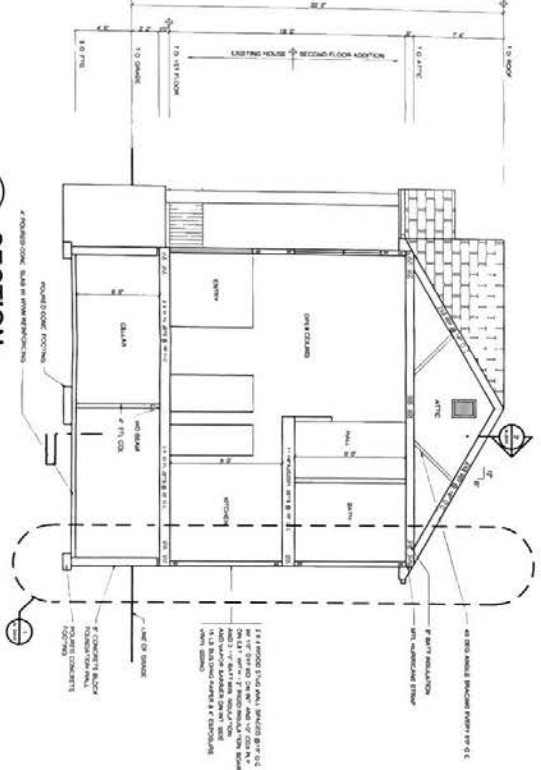
1 WALL SECTION

SCALE 1/4" = 1'-0"



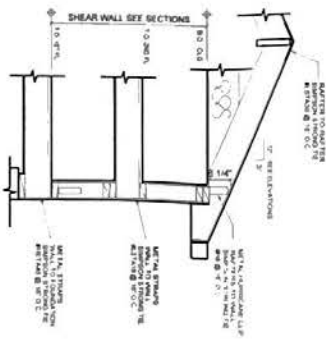
2 SECTION

SCALE 3/8" = 1'-0"



3 SECTION

SCALE 3/8" = 1'-0"



4 UPLIFT BRACING

SCALE 1/2" = 1'-0"

UPLIFT CAPACITY				
LOCATION	WIND SPEED	FLOOR	UPLIFT	UPLIFT CAP.
ROOF	140 MPH	ROOF	3000 LBS	3000 LBS
WALL	140 MPH	1ST FLOOR	2000 LBS	2000 LBS
WALL	140 MPH	2ND FLOOR	1000 LBS	1000 LBS
WALL	140 MPH	3RD FLOOR	1000 LBS	1000 LBS

JOHN RIGGIO, RA ARCHITECT
 172 MAIN STREET, SUITE 33
 METUCHEN, NJ 08840
 TEL/FAX (732) 902-2892

PROJECT NO. 20213
DRAWN BY J.R.
DATE 6-28-2021
SCALE 1/4" = 1'-0"
DRAWING A-005.00
SECTION AND DETAILS 8 OF 8



**11 Electric Street Metuchen
(377 Ft from Subject location)**



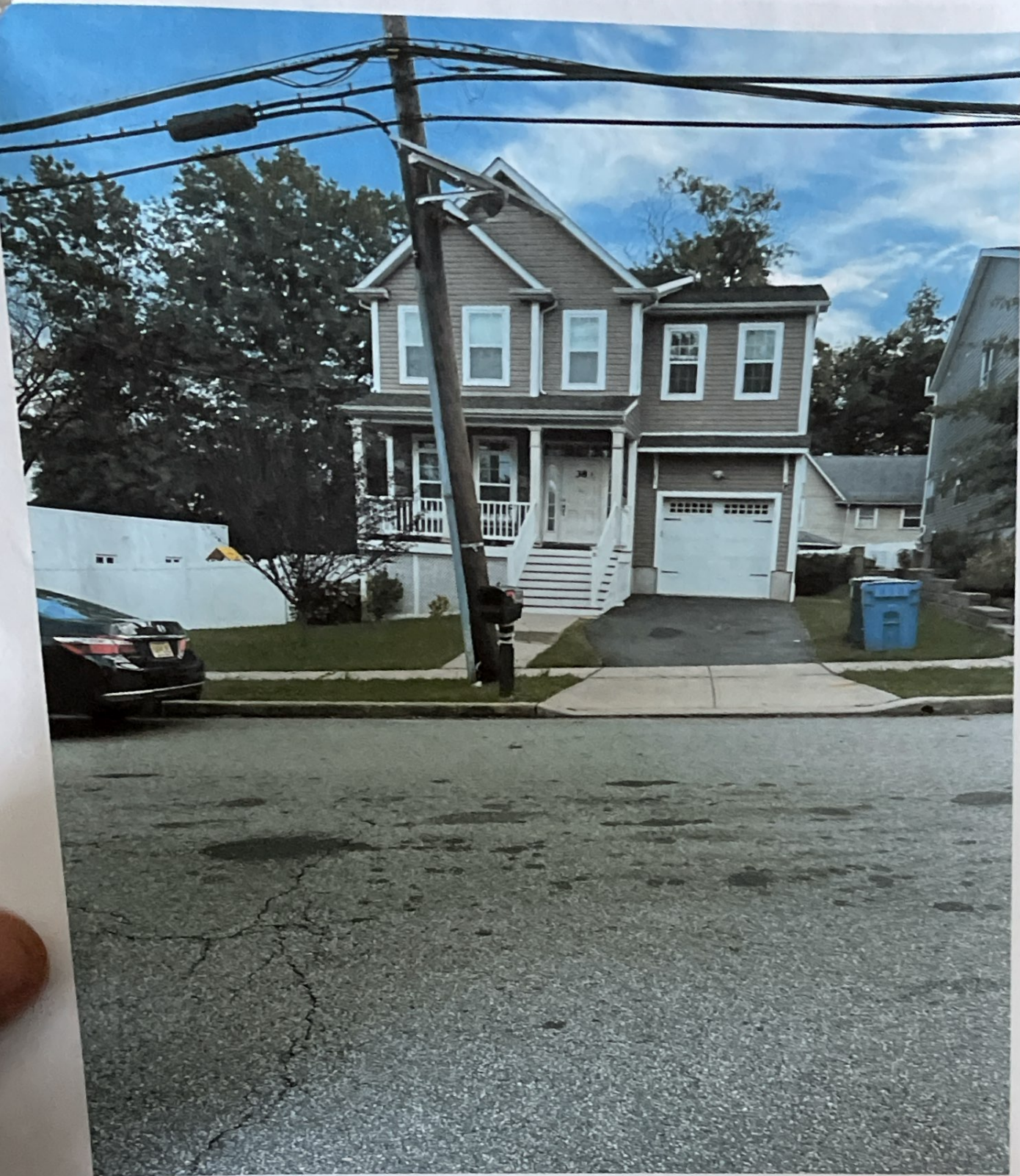
161 Durham Ave Metuchen
(377 Ft from Subject loction)



**12 Electric Street Metuchen
(387 Ft from Subject location)**



159 Durham ave Metuchen
(0.4 Miles from Subject loction)



38 Hapton Street Metuchen
(0.4 Miles from Subject location)

38 Hapton Street Metuchen
(0.4 Miles from subject location)