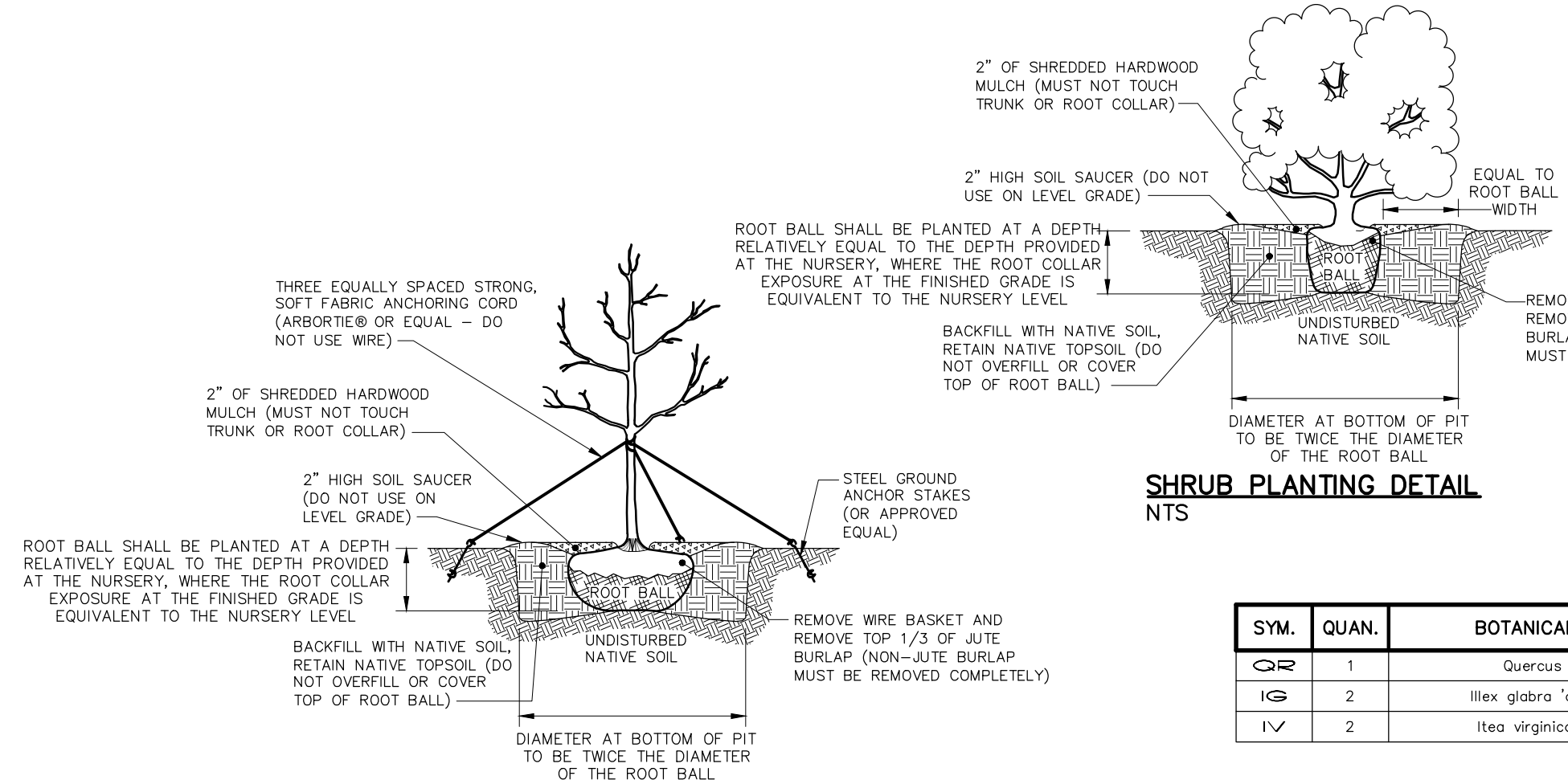


**200' RADIUS AND TAX MAP**

SCALE: 1" = 100'



**DECIDUOUS TREE PLANTING DETAIL**

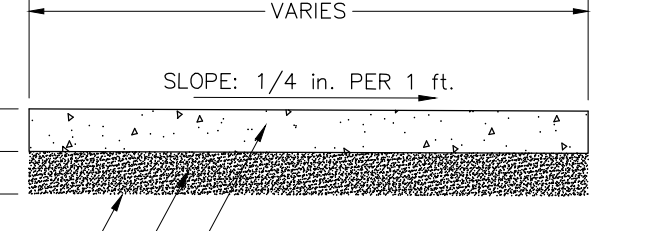
NTS

**PROPERTY OWNERS WITH 200 FT. OF PROJECT**

Table listing adjacent property owners with their names, addresses, and contact information. Includes owners like Elizabeth Gas Co., P.S.R. & G. Co., and various residential owners.

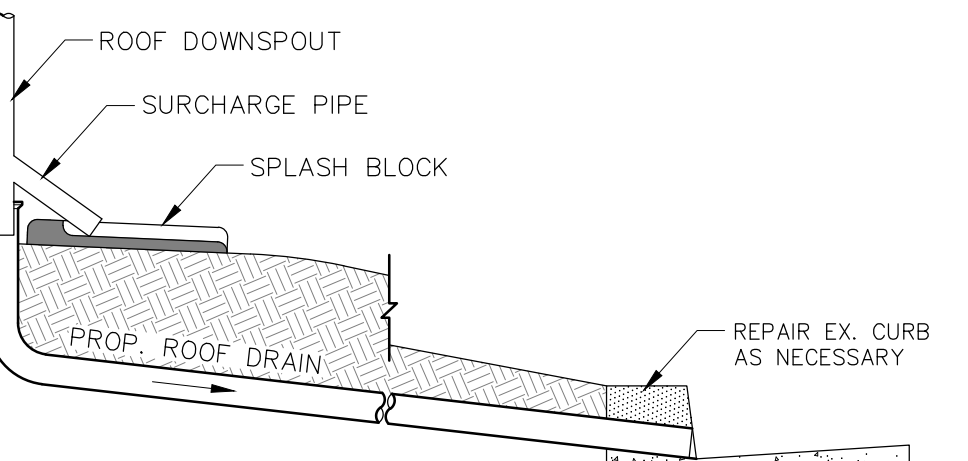
**CONSTRUCTION NOTES:**

- 1. PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY STATE, COUNTY AND MUNICIPAL PERMITS (IF APPLICABLE).
- 2. PRIOR TO INSTALLING ROOF DRAIN LINES: NEW JERSEY LAW REQUIRES ANYONE DIGGING TO CALL AT LEAST THREE (3) FULL BUSINESS DAYS (EXCLUDING WEEKENDS AND HOLIDAYS) PRIOR TO BEGINNING WORK...
- 3. THESE PLANS IN NO WAY SHOW ALL THE EXISTING UNDERGROUND UTILITIES LOCATED WITHIN THE PROJECT SITE...
- 4. ALL EXISTING UTILITIES SERVICING THE BUILDING TO REMAIN UNDISTURBED AND IN PLACE.
- 5. ALL ROOF LEADERS TO BE PITCHED TOWARD THE STREET AND BE CONNECTED TO THE GUTTER AT NEW CURB-OPENINGS...



**TYPICAL SIDEWALK DETAIL**

N.T.S.

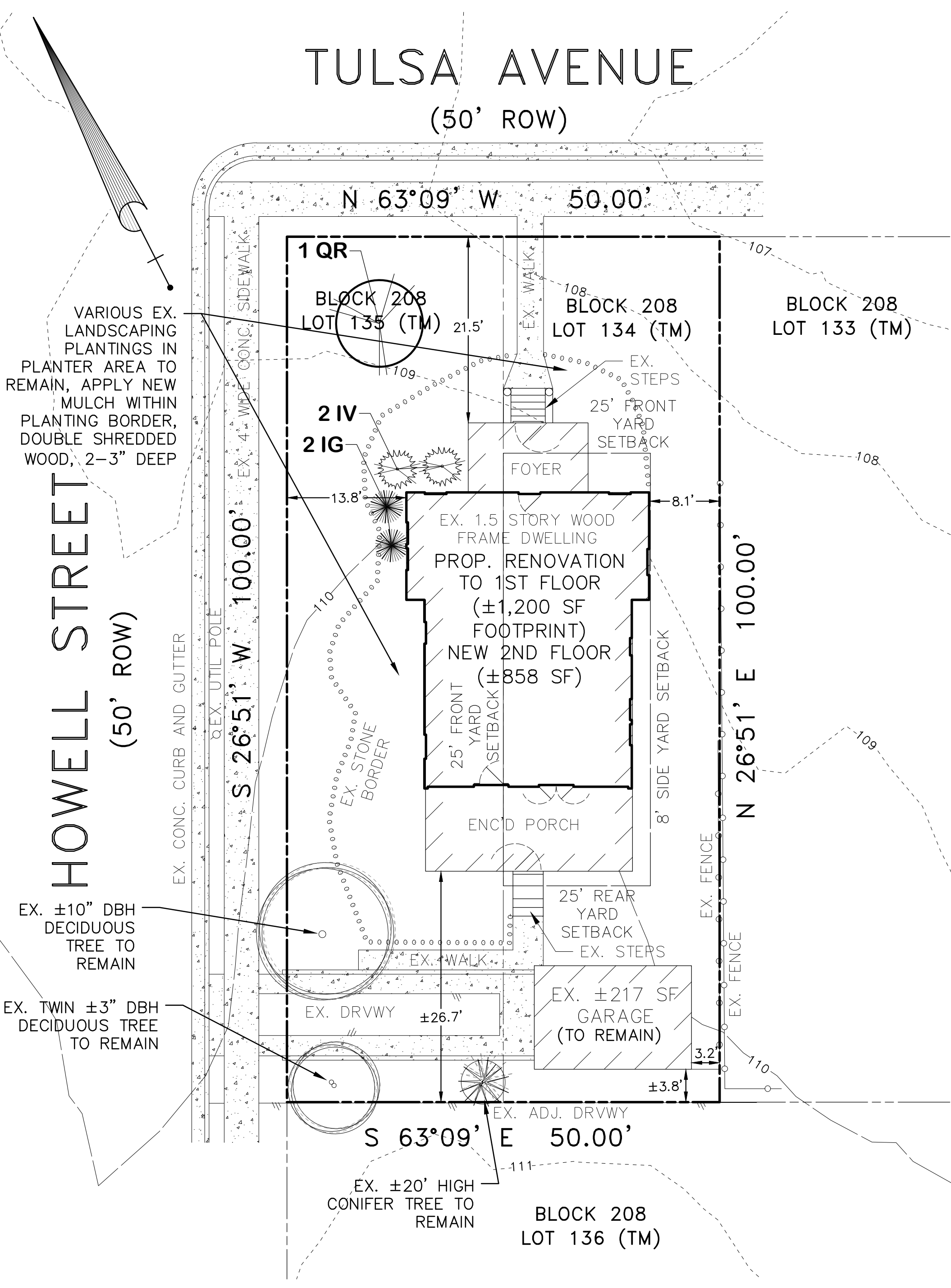


**TYPICAL DETAIL OF PROPOSED ROOF DRAIN CONNECTION**

NTS

**PROPOSED PLANT LIST**

Table with columns: SYM., QUAN., BOTANICAL NAME, COMMON NAME, PLANTING SIZE, REMARKS. Lists plants like Quercus rubra, Ilex glabra 'compacta', and Itea virginica 'Beppu'.

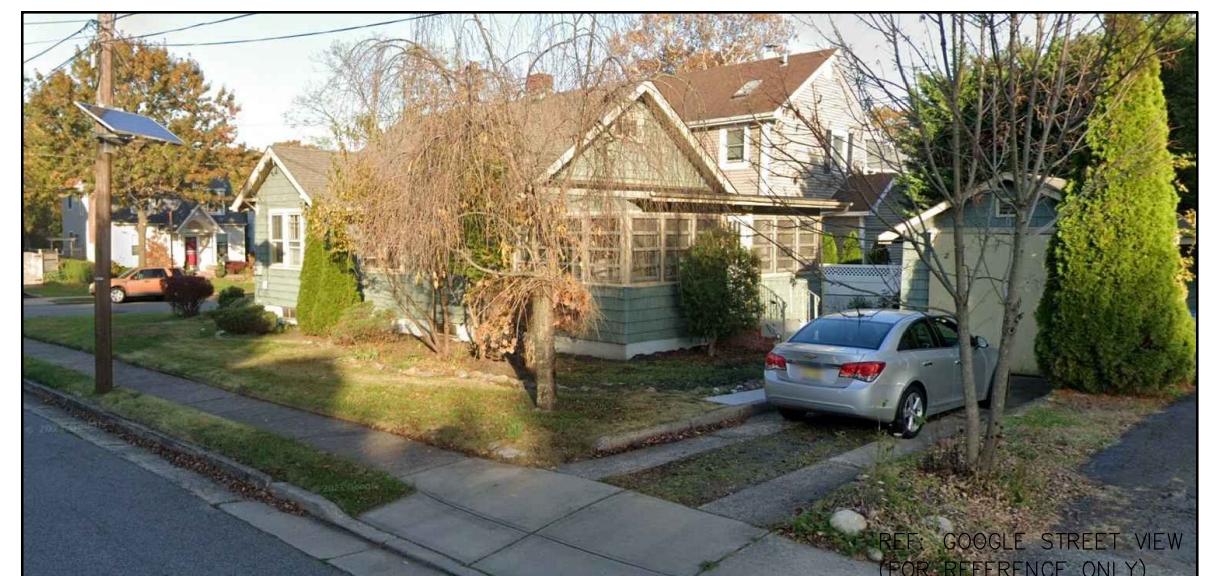


**SITE IMPROVEMENTS**

SCALE: 1" = 10'



**IMAGE OF EXISTING DWELLING (VIEWING SOUTHERN DIRECTION)**



**IMAGE OF EXISTING DWELLING (VIEWING EASTERN DIRECTION)**

**BULK REQUIREMENTS FOR "R-2" (RESIDENTIAL ZONE)**

Table comparing Required, Existing, and Proposed bulk requirements for lot area, lot depth, setbacks, and coverage.

- EXISTING CONDITIONS NON-CONFORMING: THE PROJECT REQUIRES RELIEF FROM SECTION 110-64 (ATTACHMENT 1) ZONING SCHEDULE OF DENSITY, BULK AND COVERAGE CONTROLS FOR REQUIRED FRONT YARD SETBACK IN THE R-2 ZONE...
- PER SECTION 110-112.6 ACCESSORY STRUCTURES, THE EXISTING FREESTANDING ONE-CAR GARAGE (EXISTING SQUARE FEET) REQUIRES A 5 FEET SETBACK FROM SIDE AND REAR PROPERTY LINES...

Parking Calculation table showing 4 bedrooms require 2 parking spaces, 4 bedrooms + 2.5 parking spaces require 4 parking spaces, and 1 driveway space plus 1 garage space are provided.



**KEY AND ZONING MAP** SCALE: 1" = ±500'

**GENERAL NOTES**

- 1. PROPERTY KNOWN AND DESIGNATED AS LOTS 134 & 135 IN BLOCK 208 SHOWN ON THE CURRENT TAX MAP SHEET NO. 71 OF THE BOROUGH OF METUCHEN, MIDDLESEX COUNTY, NEW JERSEY.
- 2. AREA OF SITE: EXISTING LOT = 5,000 S.F. (0.115 AC.)
- 3. THE PROPERTY IS SITUATED IN "R-2" (RESIDENTIAL ZONE).
- 4. LOTS 134 & 135 CURRENTLY HAS AN EXISTING 1.5 STORY WOOD FRAME HOUSE AND AN EXISTING DETACHED GARAGE ON SITE...
- 5. OUTBOUND INFORMATION FOR LOT 134 (T.M.) AND LOT 135 (T.M.) OBTAINED FROM MAP ENTITLED "PLAN OF SURVEY YONAH BIERS-ARIEL AND MICHELLE FLORES..."

Table with columns: REV., DESCRIPTION, DATE, BY.

**SITE IMPROVEMENT PLAN**

GRAPHIC SCALE 1" = 10'



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PREPARED FOR: **LOTS 134 AND 135 (T.M.) IN BLOCK 208**

14 TULSA AVENUE SITUATED IN: BOROUGH OF METUCHEN MIDDLESEX COUNTY, NEW JERSEY

CAD: 46-52bpp DATE: 05/11/21 SCALE: 1" = 10' FILE: 46.0052 DRAWN: RVB SHEET 1 OF 1

Signature of Leslie A. Walker III, PE. PROFESSIONAL ENGINEER NEW JERSEY LICENSE NUMBER: 24GE04729700