

# ADDITION AND ALTERATION TO ONE FAMILY HOUSE

## 303 GROVE AVENUE, METUCHEN, NJ 08840

### GENERAL NOTES

#### CONSTRUCTION NOTES:

#### CONCRETE AND MASONRY:

1. THE BEARING STRENGTH OF THE POURED CONCRETE FOR FOUNDATIONS MUST BE A MINIMUM OF 4,000 PSI. THE BEARING STRENGTH FOR SIDEWALKS AND CONCRETE SLABS MUST BE A MINIMUM OF 3,200 PSI. CSI DIV. 03 CONCRETE.

2. CONCRETE DESIGN MEETS AMERICAN CONCRETE INSTITUTE (ACI) CODE.

3. CONCRETE SHALL CONSIST OF CEMENT, WATER, AND AGGREGATE.

4. MASONRY IS TO MEET ANSI A41.1 REQUIREMENTS.

5. BRICK MUST MEET ASTM C62 USE GRADE SW (SEVERE WEATHERING) AND USE STANDARD MODULAR SIZE BRICK UNLESS OTHERWISE SPECIFIED. "N" NORMAL GROUT IS TO BE USED.

6. BLOCK IS TO BE GRADE "N" NORMAL AND MORTAR IS TO BE "N" NORMAL MEETING ASTM C90 LOADBEARING BLOCK.

7. UNREINFORCED LENGTH AND HEIGHTS SHOULD NOT EXCEED ANSI A41.1 STANDARDS.

8. THE CONCRETE CONTRACTOR MUST VERIFY PROPER CONCRETE PSI AT TIME OF POUR.

#### METAL AND STEEL:

1. THE STEEL USED SHOULD BE ASTM 36 ALL-PURPOSE CARBON GRADE STEEL. CSI DIV 05 METALS.

2. STEEL SHAPES AND CONNECTIONS ARE TO MEET AISC STANDARDS. PROVIDE WELDED WEB STIFFENERS FOR ALL STEEL SHAPES.

3. METAL STUD WALLS SPACED AT 12" O.C. AND 16" O.C. ARE TO HAVE HORIZONTAL REINFORCING EVERY 4'-0" O.C. VERTICALLY AND BRACING AT THE CORNERS.

4. METAL STUD WALLS ARE NOT TO EXCEED THE MAXIMUM HEIGHT ALLOWED ACCORDING TO THE MANUFACTURER'S SPECS.

5. WELDING IS TO MEET AWS D1.1-80 AND THE AISC SPECIFICATIONS. PROVIDE CONTINUOUS ALL AROUND WELDING AT CONNECTIONS.

#### WOOD:

1. STRUCTURAL WOOD MEMBERS ARE TO BE DOUGLAS-FIR MIN 1,250 PSI STRUCTURAL GRADE LUMBER, KILN DRIED AND GRADE STAMPED. CSI DIVISION 06 WOOD, PLASTICS, AND COMPOSITES.

2. WOOD STUD WALLS SPACED 12" O.C. AND 16" O.C. ARE TO HAVE HORIZONTAL BRACING 4'-0" VERTICALLY.

3. ROOF RAFTERS SPACED 12" O.C. & 16" O.C. ARE TO HAVE BRACING AT 45 DEG ANGLE SPACED EVERY 6'-0" O.C.

4. CEILING AND ROOF JOISTS SPACED 12" O.C. AND 16" O.C. ARE TO HAVE DIAGONAL BRACING EVERY 4'-0" O.C.

5. WOOD FLOOR & WALLS MUST HAVE FIREBLOCKING AT EACH FLOOR LEVEL AND BETWEEN DIFFERENT SPACE USES.

6. WINDOW AND DOOR HEADERS FOR BEARING WALLS ARE (2) 2 X 6'S AND FOR NON-BEARING WALLS ARE (2) 2X4'S.

7. PLYWOOD SHEATHING IS TO BE HEM-FIR CDX FOR EXTERIOR WALLS AND HEM-FIR APA FOR ROOF SHEATHING. 3/4" HEM-FIR IS TO BE USED FOR FLOORING.

8. ROOFS ARE TO HAVE STRAPS FOR HURRICANE FORCE WINDS.

9. WOOD BASE PLATES SHOULD HAVE CONTINUOUS TERMITE STRIPS ALONG THE FOUNDATION.

#### FINISHES:

1. GYPSUM PRODUCT INSTALLATION MUST CONFORM TO THE ASTM AND GYPSUM ASSOCIATION. CSI DIVISION 09 FINISHES.

2. USE TYPE "X" FIRE-RATED ASTM 36 AND GA 216, 600 INSTALLATION STANDARDS. TAPE AND SPACKLE ALL GYPSUM BOARD INSTALLATION FOR FIRE-RATED WALLS.

3. FOR EXTERIOR APPLICATIONS USE EXTERIOR GYPSUM SHEATHING ASTM STANDARD C1177 AND GA 253 INSTALLATION STANDARDS.

#### PLUMBING:

1. INSTALLATION IS TO MEET DEP STANDARDS, THE NATIONAL PLUMBING CODE, AND ANSI A40.8. CSI DIVISION 22 PLUMBING.

2. DRIP VALVES AND SHUT-OFF VALVES MUST BE INSTALLED AT LOW POINT IN WATER SUPPLY SYSTEM.

3. INSTALL SHOCK ABSORBERS TO PREVENT WATER HAMMER.

4. WASTE MAINS ARE TO BE CAST IRON OR EHCI PIPING IN NYC, THEY MAY BE P.V.C. ELSEWHERE.

5. A WASTE CLEAN-OUT MUST BE INSTALLED AT EXTERIOR WALL LOCATION.

6. FRESH AIR INTAKE MUST BE INSTALLED 6" ABOVE GRADE.

7. AIR VENT STACK MUST PENETRATE ROOF SURFACE.

8. P.V.C. PIPING MAY BE USED UP TO A THREE FAMILY HOUSE, GREATER THAN THREE FAMILIES OR ANY COMMERCIAL BUILDING WILL REQUIRE ESVP PIPING THROUGHOUT.

#### HVAC

1. INSTALLATION OF HVAC UNITS AND DUCT WORK IS TO CONFORM WITH THE ASHRAE, CSI DIVISION 23 HVAC.

2. PIPING FOR HOT WATER AND STEAM HEAT SYSTEMS MUST BE PROPERLY FASTENED TO STRUCTURAL MEMBERS ACCORDING TO CODE.

3. DUCT WORK PENETRATIONS THROUGH FIREWALLS AND FLOORS MUST BE PROVIDED WITH FIREDAMPERS.

4. DUCT WORK MUST BE PROPERLY INSULATED AS PER CODE.

5. CHIMNEY FLUES WITHIN 10'-0" OF RIDGE LINE MUST EXTEND 3'-6" ABOVE THE HIGHEST POINT OF THE ROOF.

#### ELECTRICAL:

1. WIRING METHODS AND MATERIALS MUST COMPLY WITH NATIONAL ELECTRICAL CODE AND STATE CODE. CSI DIVISION 26 ELECTRICAL.

2. MATERIALS MUST MEET UL, NRTL, NEMA, OR NFPA TESTING LABORATORIES SPECIFICATIONS.

3. WIRING MUST BE GROUNDED FOR THE STRUCTURE WITH AN ELECTROPOLE.

4. CIRCUIT LOADS AND WIRING MUST BE VERIFIED BY A LICENSED ELECTRICIAN.

5. ELECTRICAL CONTRACTOR MUST PROVIDE ALL ELECTRICAL HARDWARE FOR INSTALLATION.

6. ALL DUPLEX RECEPTACLES ARE TO BE INSTALLED 12" AFF AND FOR H.C. AND ADA LOCATION, THEY MUST BE 18" TO 4'-0" AFF.

7. WIRING MUST HAVE A MAIN SWITCH BOARD AT ELECTRICAL POWER ENTRY.

8. ALL OUTLETS NEAR WATER OUTLETS AND SINKS MUST BE GFI - GROUND FORCE INTERRUPTER.

9. CIRCUITS IN A ROOM MUST HAVE ONE CIRCUIT BREAKER OUTLET.

10. ENERGY EFFICIENT LIGHT BULBS MUST BE USED IN ALL NEW LIGHT FIXTURE INSTALLATIONS.

#### BUILDING DEPARTMENT NOTES:

1. CONSTRUCTION IS IN COMPLIANCE WITH NEW JERSEY BUILDING CODES.

2. MATERIALS AND METHODS OF CONSTRUCTION ARE IN COMPLIANCE WITH THE APPLICABLE BUILDING CODE AND NECESSARY FORMS HAVE BEEN SUBMITTED TO THE LOCAL BUILDING DEPARTMENT. SPECIFICATIONS ARE LISTED IN CSI, MASTERFORMAT 2004.

3. THE BUILDING DEPARTMENT MUST BE NOTIFIED 24 HOURS PRIOR TO ALL EXCAVATION WORK INCLUDING DRYWELLS.

4. CONSTRUCTION WILL BE INSPECTED BY A LICENSED PROFESSIONAL AS LISTED BELOW UNDER INSPECTIONS. A CERTIFICATE OF COMPLETED INSPECTION AND REPORT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT.

5. THE BUILDING PERMIT MUST BE POSTED IN A VISIBLE LOCATION TO THE FRONT EXTERIOR OF THE PROPERTY WITH THE OCCUPANCY AND USE STATED.

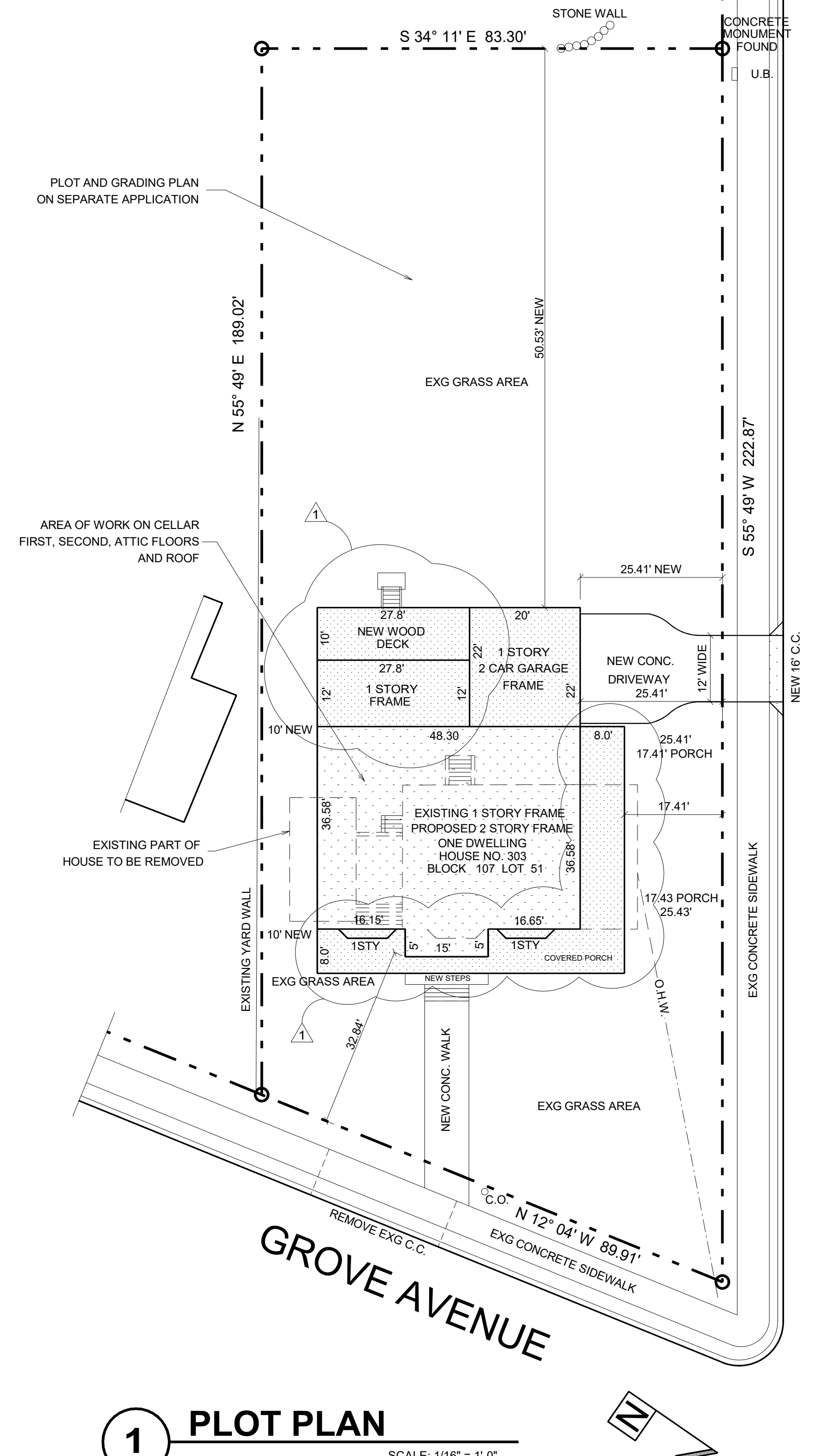
6. THE NEW OCCUPANTS MAY NOT USE THE STRUCTURE UNTIL A CERTIFICATE OF OCCUPANCY HAS BEEN OBTAINED.

#### PROJECT COMPLETION:

- FOUNDATION, FRAMING, ETC. SPECIAL INSPECTIONS
- FINAL INSPECTION
- FINAL PLUMBING INSPECTION
- FINAL ELECTRICAL INSPECTION
- FINAL MECHANICAL INSPECTION, ETC.
- BUILDING DEPARTMENT SIGN-OFF OR
- CERTIFICATE OF OCCUPANCY

#### NEW JERSEY BUILDING CODE:

2018 IBC NJ ED. WITH ADJMENTS  
 NEC 2017  
 NSPC 2018  
 IMC 2018



### ABBREVIATIONS

ABV	ABOVE	INSTL	INSTALL
ADD	ADDITION	JB	JUNCTION BOX
ADH	ADHESIVE	LAM	LAMINATE
BD	BOARD	LL	LIVE LOAD
BLDG	BUILDING	MO	MASONRY OPENING
CLG	CEILING	MET	METAL
CL	CENTER LINE	NTS	NOT TO SCALE
CONST	CONSTRUCTION	OC	ON CENTER
DEG	DEGREE	OD	OUTSIDE DIAMETER
DR	DOOR	PL	PLATE
EQUIP	EQUIPMENT	PT	PAINT
EXP JT	EXPANSION JOINT	R	RADIUS
FIN	FINISH	SS	STAINLESS STEEL
FD	FLOOR DRAIN	STD	STANDARD
FTG	FOOTING	TEL	TELEPHONE
GA	GAGE	UND	UNDER
GYP	GYPSUM	V	VOLTAGE
HT	HEIGHT	W	WALL
HM	HOLLOW METAL	WD	WOOD

### SITE CALCULATIONS

303 GROVE AVENUE, METUCHEN, NJ 08840  
 BLOCK 107 LOT 51  
 USE GROUP = R-5 - ONE FAMILY RESIDENTIAL  
 CONST CLASS = TYPE 5B WOOD FRAME  
 ZONING DISTRICT = R-1 RESIDENTIAL DISTRICT  
 BOROUGH OF METUCHEN ZONING CODE  
 110-64 BULK REQUIREMENTS  
 MINIMUM LOT AREA = 10,000 SF  
 83.30' X 189.02' = 17,155.82 SF EXISTING  
 110-64 MIN LOT WIDTH  
 MINIMUM LOT WIDTH REQ. = 75' > 83.30' EXISTING NON-COMPLYING  
 110-64 MIN LOT DEPTH  
 MINIMUM LOT DEPTH REQ. = 100' < 189.02' EXISTING  
 110-64 REQUIRED YARDS  
 EAST FRONT YARD 25' REQ. < 32.84' PROPOSED  
 NORTH FRONT YARD 25' REQ. > 25.41' PROPOSED  
 SOUTH SIDE YARD 10' MIN REQ. > 10' PROPOSED  
 REAR YARD 25' MIN REQ. < 50.53' PROPOSED  
 110-68 PERMITTED USES  
 A. SINGLE FAMILY DETACHED DWELLINGS  
 110-64 MAXIMUM BUILDING HEIGHT  
 MAXIMUM 3 STORIES AND 35' HIGH > 2.5 STORIES, 35' HIGH PROPOSED HOUSE FLOOR AREA  
 (CELLAR FLOOR AREA = 42.5' X 26.08' = 838.60 SF EXISTING)  
 (CELLAR FLOOR AREA = 42.5' X 26.08' = 1,274.64 SF PROPOSED)  
 (TOTAL CELLAR FLOOR AREA = 2,113.24 SF)  
 FIRST FLOOR AREA = 42.5' X 26.08' = 838.60 SF EXISTING  
 FIRST FLOOR GARAGE AREA = 20' X 2' = 440 SF PROPOSED  
 FIRST FLOOR ADDITION = 15' X 36.58' = 1,274.64 SF PROPOSED  
 TOTAL FIRST FLOOR AREA = 2,553.24 SF  
 SECOND FLOOR AREA  
 TOTAL 2ND FLOOR AREA = 48.30' X 36.58' = 1,748.52 SF PROPOSED  
 ATTIC FLOOR AREA  
 TOTAL ATTIC FLOOR AREA = 47.30' X 9' = 425.70 SF PROPOSED  
 TOTAL HOUSE FLOOR AREA = 4,727.46 SF PROPOSED  
 TOTAL HOUSE FLOOR AREA /WO GARAGE = 4,287.46 SF PROPOSED  
 TOTAL FLOOR AREA OF ADDITIONS 3,888.86 SF PROPOSED  
 110-64 MAX LOT COVERAGE = 30%  
 17,155.82 SF X .30 = 5,146.75 SF > 2,553.24 SF  
 110-64 MAX IMPERVIOUS COVERAGE = 50%  
 17,155.82 SF X .50 = 8,577.91 SF > 3,053.24 SF  
 VOLUME OF ADDITIONS  
 3,888.86 SF X 9' = 34,999.74 CF PROPOSED  
 OFFSTREET PARKING  
 EXISTING DETACHED 2 CAR GARAGE 12' X 22.33' = 267.96 SF  
 PROPOSED ATTACHED 2 CAR GARAGE = 20' X 22' = 440.00 SF

### ENERGY CALCULATIONS

CONFORMS TO NEW JERSEY STATE ENERGY CODE 2018 IECC  
 LOCATION: METUCHEN, NJ  
 CONSTRUCTION TYPE: SINGLE -FAMILY  
 PROJECT TYPE: ADDITION  
 HEATING DEGREE DAYS: 5227 HDD  
 CLIMATE ZONE: 4  
 AIR HEATING, 78 AFUE  
 ADDITION AND ALTERATION  

ELEMENTS	AREA	CAVITY R-VALUE	CONT. R-VALUE	WIN/DR U-FACTOR	SHGC	UA
WALL	3605	15	5	.053	-	181
CEILING	1655	25.1		.040	-	43
WINDOW	484			.34	.18	148
DOORS	65			.34	.18	21
DOORS GL	54			.34	.18	17
BASEWALL	1974		30	.049	-	116

 MAXIMUM UA ALLOWED 526 > 521 PROVIDED COMPLIANCE PASSES  
 INFILTRATION RATES  
 DOORS .5 CFM/SF REQ. => .5 CFM/SF SPECIFIED  
 WINDOWS .37 CFM/MLF REQ. => .34 CFM/MLF SPECIFIED

### PERMITS

CONSTRUCTION  
 ELECTRICAL  
 PLUMBING  
 MECHANICAL

### INSPECTIONS

- EXCAVATION
- FOUNDATION
- FRAMING
- FINAL

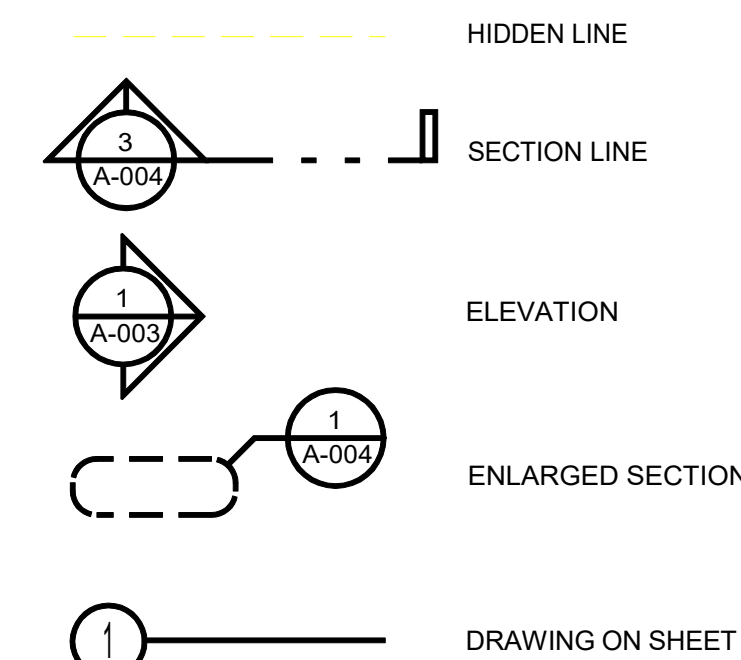
### STRUCTURAL REQ.

CONFORMS TO NEW JERSEY CODE, TABLE 1607.1  
 REQUIRED LIVE LOADS  
 CEL FLOOR = 40 PSF NJ CODE TABLE 1607.1 RESIDENTIAL  
 1ST, 2ND FLOOR = 40 PSF NJ CODE TABLE 1607.1 RESIDENTIAL  
 CEILING = 10 PSF NJ CODE TABLE 1607.1 UNINHABITABLE W/O STOR.  
 ROOF = 30 PSF NJ CODE 1607.11.2.1  
 EQUATION 16-4  
 DESIGN DEAD LOADS  
 FLOORS = 12.1 PSF FIRST FLOOR  
 CEILING = 4.0 PSF UNINHABITABLE  
 ROOF = 9.2 PSF  
 SOILING BEARING PRESSURE = 2 TONS / SF

### LIST OF DRAWINGS

- T-001 TITLE SHEET AND PLOT PLAN
- A-001 CELLAR AND FIRST FLOOR PLANS
- A-002 SECOND FLOOR PLAN AND ATTIC FLOOR PLAN
- A-003 ROOF PLAN
- A-004 HOUSE ELEVATIONS
- A-005 RISER DIAGRAMS AND DETAILS
- A-006 SECTIONS AND DETAILS

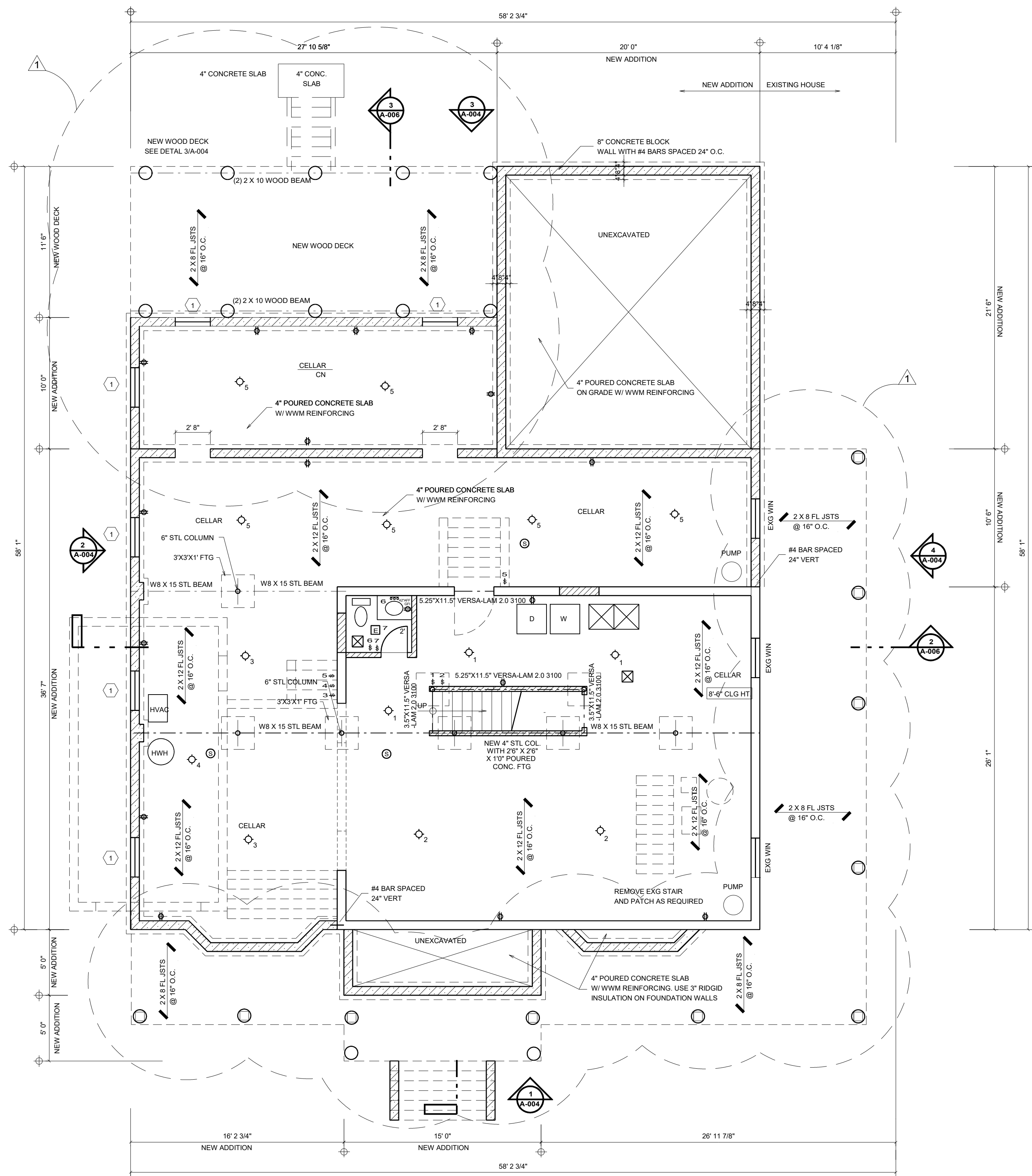
### SYMBOLS



### 1 PLOT PLAN

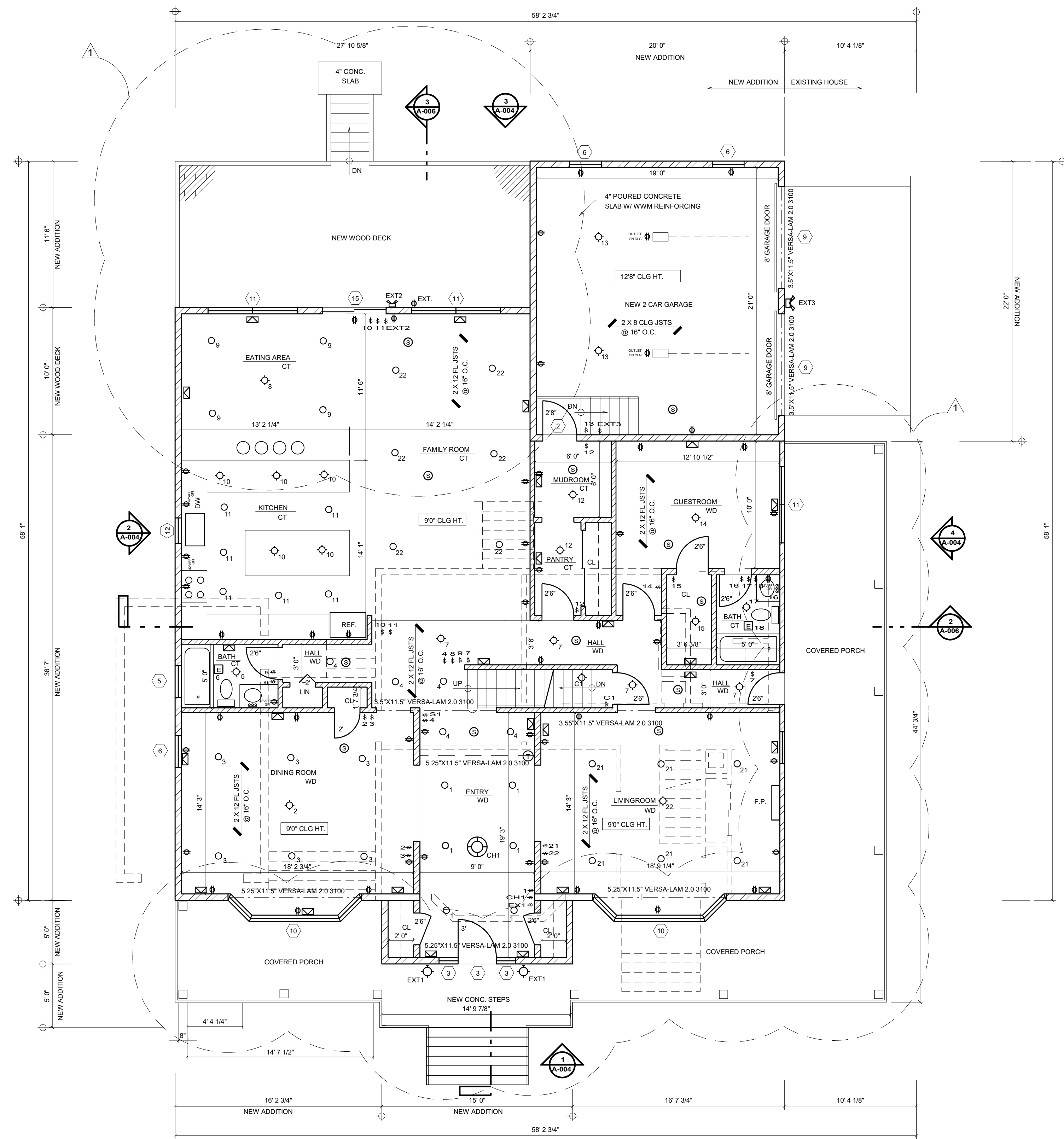
SCALE: 1/16" = 1'-0"

<b>JOHN RIGGIO, RA ARCHITECT</b>		PROJECT NO. 202167
172 MAIN STREET, SUITE 33 METUCHEN, NJ 08840 TEL/FAX: (732) 902-2882		DRAWN BY J.R., D.N.
SEAL		SCALE 1/4"=1'-0"
THE LAW PROHIBITS THE ALTERING OF THIS DOCUMENT TO CHANGE THE DOCUMENT. THERE MUST BE A LICENSED ARCHITECT PRESENT AND ABLE TO SEAL IT.		DATE 9-27-2021
PROJECT ADDITION AND ALTERATION TO ONE FAMILY HOUSE 303 GROVE AVENUE METUCHEN, NJ 08840	TITLE TITLE SHEET AND PLOT PLAN	DRAWING <b>T-001.00</b> 1 OF 7



**1 CELLAR FLOOR PLAN**

SCALE: 3/16" = 1'-0"



**2 FIRST FLOOR PLAN**

SCALE: 3/16" = 1'-0"

**SYMBOL LEGEND**

	SURFACE MOUNTED LIGHT FIXTURE MAX 100W BULBS		EXTERIOR LIGHT FIXTURE (2) MAX 100W BULBS
	RECESSED MOUNTED LIGHT FIXTURE MAX 100W BULBS		WALL JACK, FOR TELEPHONE, DATA, CABLE, SEE LETTER
	CEILING HUNG LIGHT FIXTURE MAX 100W BULBS		THERMOSTAT CONTROL
	SURFACE MOUNTED INCANDESCENT VANITY LIGHT FIXTURE (3) MAXIMUM 100W BULBS		RECESSED EXHAUST FAN MINIMUM 80 CFM
	ELECTRICAL WALL OUTLET, GFI IF INDICATED		DOOR BELL
	ELECTRICAL WALL SWITCH, NUMBER INDICATES DEVICE		FLUSH MOUNTED RETURN AIR VENT
	SMOKE AND CARBON MONOXIDE DETECTOR HARD WIRED		FLUSH MOUNTED SUPPLY AIR DIFFUSER

**WALL LEGEND**

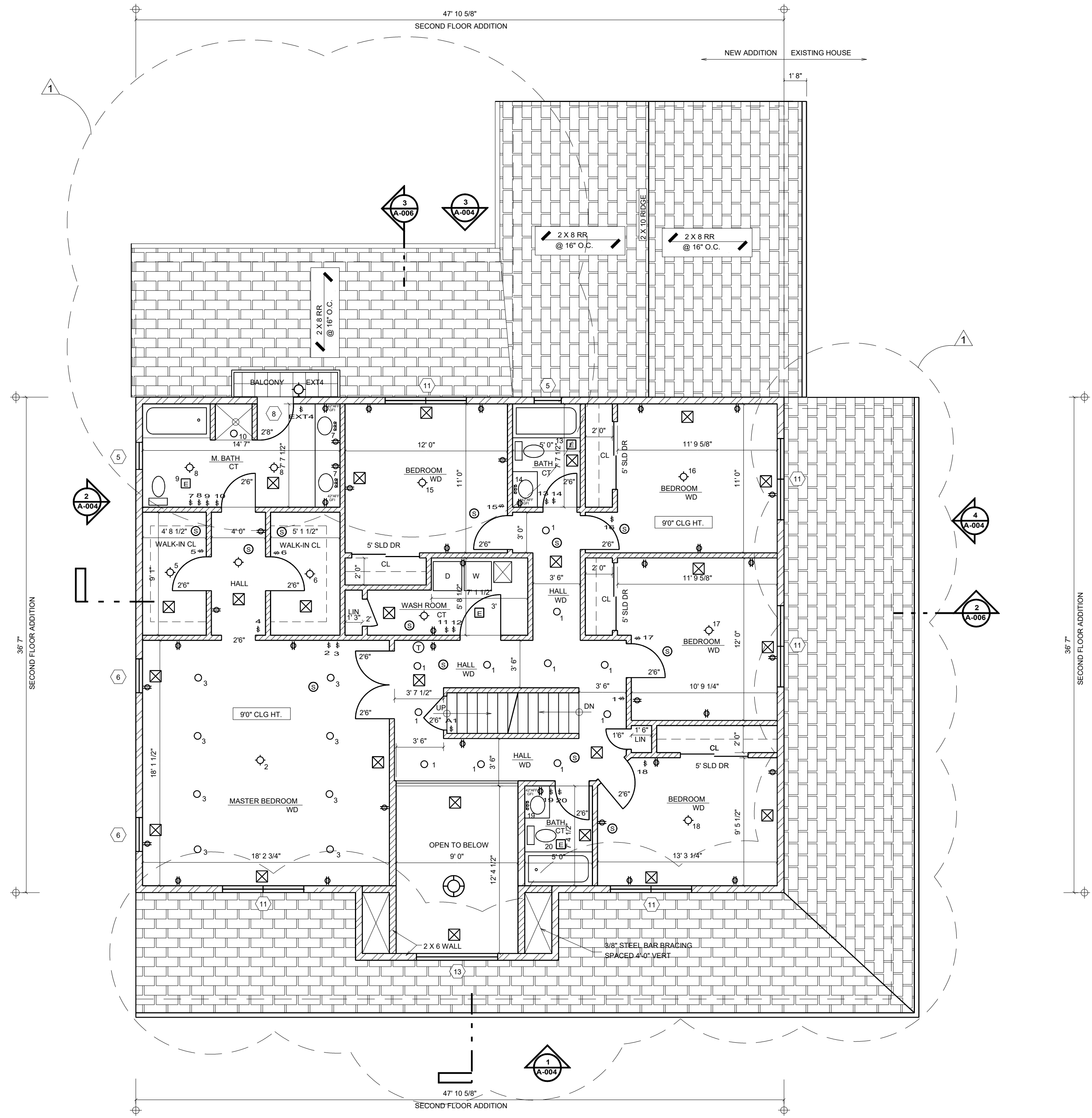
	POURED CONCRETE WALL		2 X 4 WOOD STUD WALL @ 16" O.C. W/ 5/8" FIRE RESISTIVE GYPSUM BD. ON EACH SIDE AND 3 1/2" BATT INSULATION
	2 X 4 WOOD STUD WALL @ 16" O.C. W/ 1/2" GYPSUM BD. ON EACH SIDE.		2 X 4 WOOD STUD WALL SPACED @ 16" O.C. ON EXT. WITH 1/2" RIGID INSULATION BOARD AND 3 1/2" BATT MIN. INSULATION AND VAPOR BARRIER ON INT. SIDE
	2 X 4 WOOD STUD WALL @ 16" O.C. W/ 1/2" WATER RESISTIVE BD. ON WET SIDE AND 1/2" GYPSUM BD. ON DRY SIDE.		EXISTING WALL
	WALL TO BE REMOVED		

**CONSTRUCTION NOTES:**

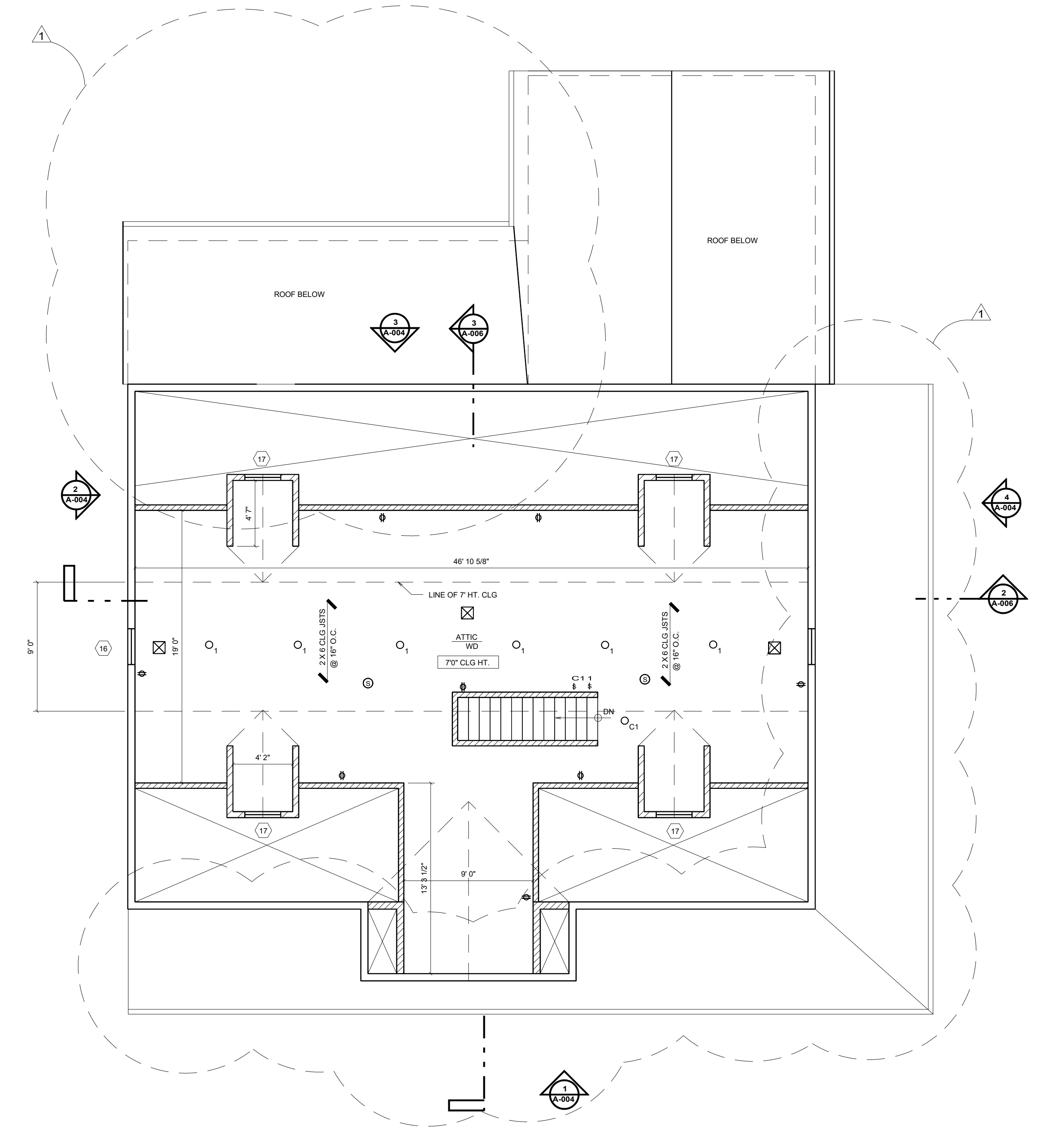
1. REMOVE EXISTING FOUNDATION AND WALLS ON HOUSE FOR NEW ADDITIONS.
2. REMOVE EXISTING WALL PARTITIONS AS SHOWN ON FLOOR PLAN.
3. INSTALL NEW WINDOWS AND HEADERS AS REQUIRED
4. INSTALL NEW PLUMBING FIXTURES AND REMOVE AND REPLACE EXISTING FIXTURES AS SHOWN.
5. MODIFY HVAC SYSTEM THROUGHOUT HOUSE
6. INSTALL NEW SMOKE AND CARBON MONOXIDE DETECTORS.

**JOHN RIGGIO, RA ARCHITECT**

172 MAIN STREET, SUITE 33 METUCHEN, NJ 08840 TEL/FAX: (732) 902-2882		PROJECT NO. 202167
DRAWN BY J.R., D.N.		SCALE 3/16"=1'-0"
DATE 9-27-2021		DRAWING <b>A-001.00</b>
DRAWING 2 OF 7		



**1 SECOND FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

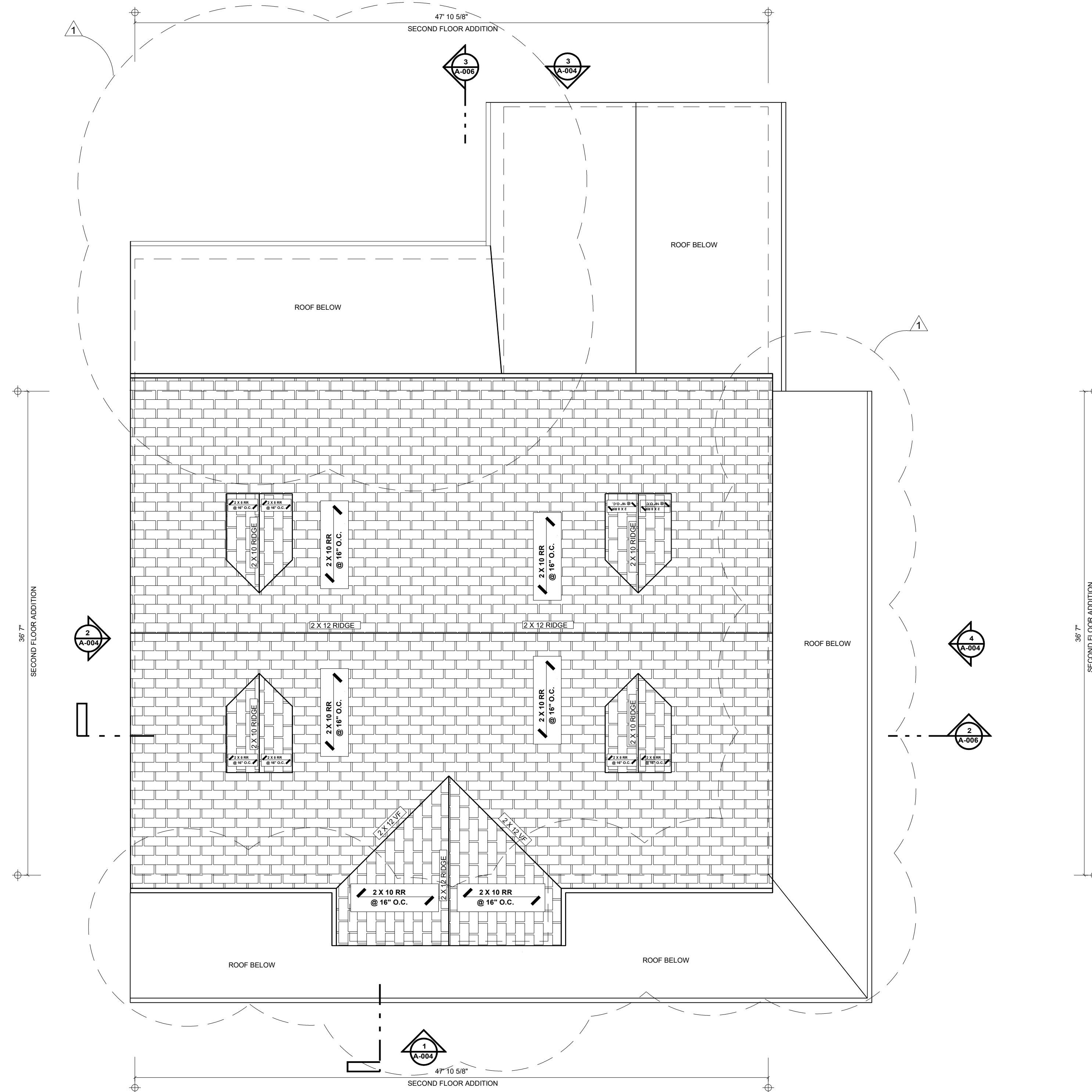


**2 ATTIC PLAN**  
SCALE: 3/16" = 1'-0"

**WINDOW SCHEDULE**

NO.	BRAND	SERIES	TYPE	MODEL #	MODEL #	INTERIOR FINISH	EXTERIOR FINISH	CUSTOM WINDOW			NOTES:	NO.	BRAND	SERIES	TYPE	MODEL #	MODEL #	INTERIOR FINISH	EXTERIOR FINISH	CUSTOM WINDOW			NOTES:
								W (RO)	H (RO)	MATERIAL										W (RO)	H (RO)	MATERIAL	
1	ANDERSEN	400	CASEMENT	A31	-	WHITE	WHITE	-	-	-	CELLAR	12	ANDERSEN	400	DH	(2) TW3446	-	NATURAL	WHITE	-	-	-	DOUBLE, EM ESCAPE
2	ANDERSEN	400	EXT DOOR	-	-	WHITE	WHITE	2'8"	6'8"	VINYL CLAD	GARAGE	13	ANDERSEN	400	DH	TW4030	-	NATURAL	WHITE	-	-	-	TEMPERED, KITCHEN
3	ANDERSEN	400	FRONT DOOR	12AEHID6468A	-	WHITE	WHITE	-	-	-	DB DOORS W/ SIDELITES	14	ANDERSEN	400	PICT / ARCH	PC6060	ARCH#CTC3	NATURAL	WHITE	-	-	-	PICTURE W/ ARCH
4	ANDERSEN	400	DH	TW3446	-	NATURAL	WHITE	-	-	-	EM ESCAPE	15	ANDERSEN	400	DH	TW3446	-	NATURAL	WHITE	-	-	-	BEDROOMS, EM ESCAPE
5	ANDERSEN	400	DH	TW2032	-	NATURAL	WHITE	-	-	-	TEMPERED	16	ANDERSEN	400	SLD GL DR	FWG6068R	-	NATURAL	WHITE	-	-	-	EATING AREA
6	ANDERSEN	400	DH	TW3046	-	NATURAL	WHITE	-	-	-	M. BEDROOM	17	ANDERSEN	400	DH	TW3446	-	NATURAL	WHITE	-	-	-	ATTIC SIDES
7	ANDERSEN	400	-	-	-	-	-	-	-	-	-	18	ANDERSEN	400	DH	TW2636	-	NATURAL	WHITE	-	-	-	ATTIC
8	ANDERSEN	400	EXT DOOR	FWH2968AR	-	NATURAL	WHITE	-	-	-	BALCONY	19	ANDERSEN	400	-	-	-	-	-	-	-	-	-
9	ANDERSEN	400	GARAGE DOOR	-	-	WHITE	WHITE	8' 0"	7' 0"	FIBERGLASS	-	20	ANDERSEN	400	-	-	-	-	-	-	-	-	-
10	ANDERSEN	400	BAY WIN	45-P6050-20	-	NATURAL	WHITE	-	-	-	LIVINGROOM, DININGRM												

<b>JOHN RIGGIO, RA ARCHITECT</b>		PROJECT NO. 202167
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		SCALE 3/16"=1'-0"
SEAL	THE LAW PROHIBITS THE ALTERING OF THIS DOCUMENT TO CHANGE THE DOCUMENT PRESENT AND ABLE TO SEAL IT.	DATE 9-27-2021
PROJECT ADDITION AND ALTERATION TO ONE FAMILY HOUSE 303 GROVE AVENUE METUCHEN, NJ 08840	TITLE SECOND FLOOR PLAN AND ATTIC PLAN	DRAWING <b>A-002.00</b> 3 OF 7



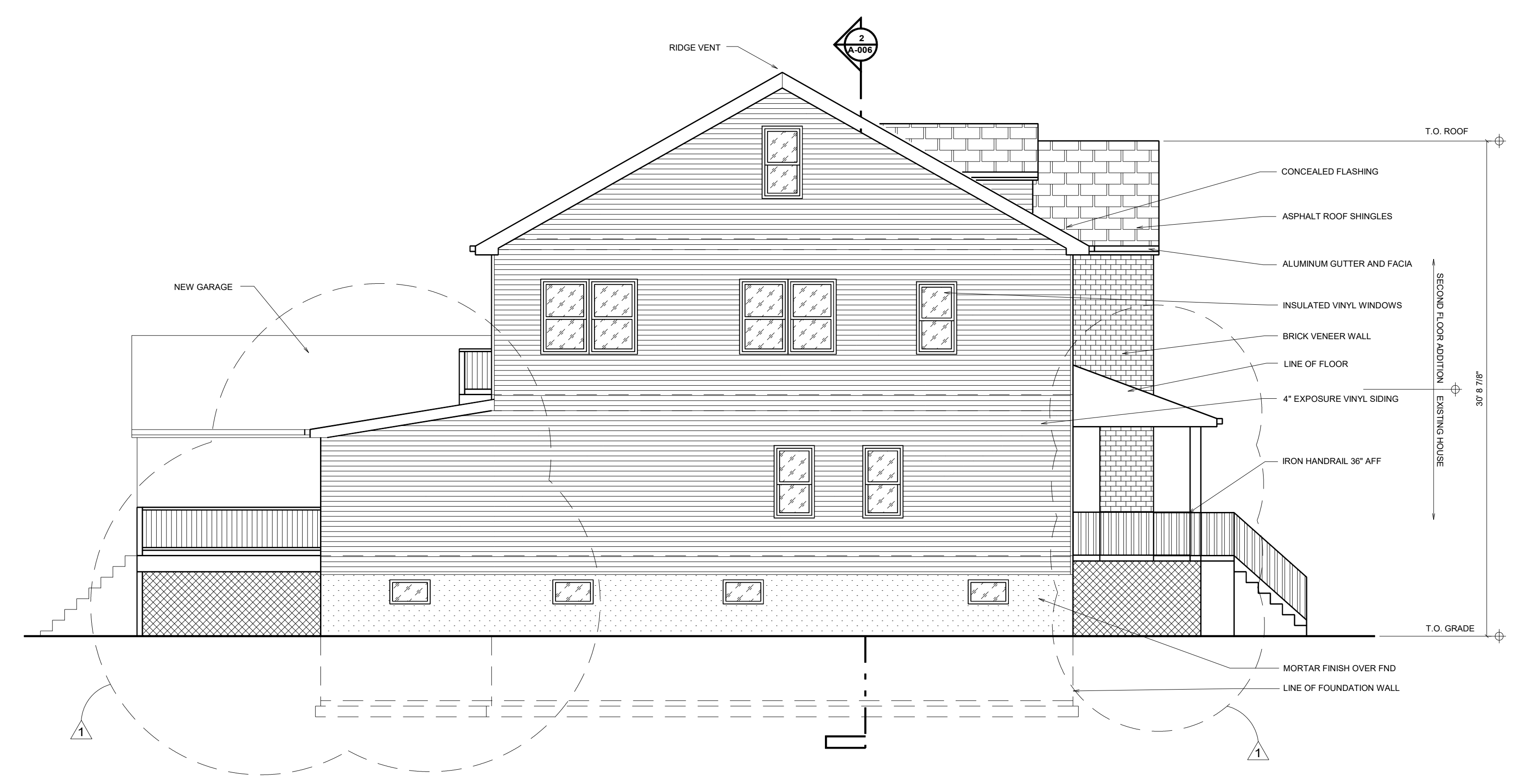
**1 ROOF PLAN**

SCALE: 3/16" = 1'-0"

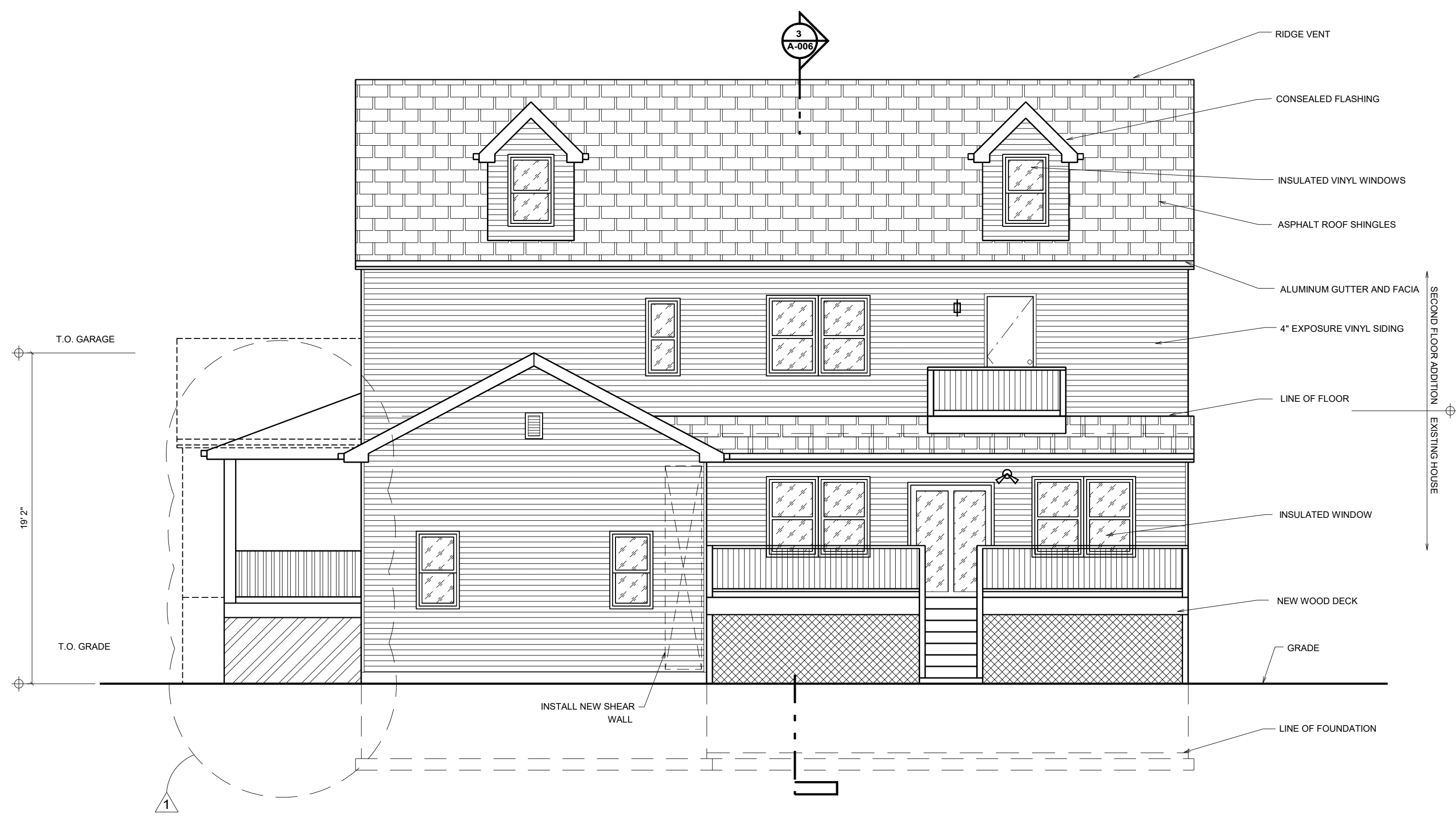
<b>JOHN RIGGIO, RA ARCHITECT</b> 172 MAIN STREET, SUITE 33 METUCHEN, NJ 08840 TEL/FAX: (732) 902-2882		PROJECT NO.	202167
		DRAWN BY	J.R. , D.N.
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		PROJECT	ADDITION AND ALTERATION TO ONE FAMILY HOUSE 303 GROVE AVENUE METUCHEN, NJ 08840
<small>REVISED Δ 9-17-2023 FOR VARIANCE</small>		TITLE	ROOF PLAN
		DRAWING	<b>A-003.00</b> 4 OF 7



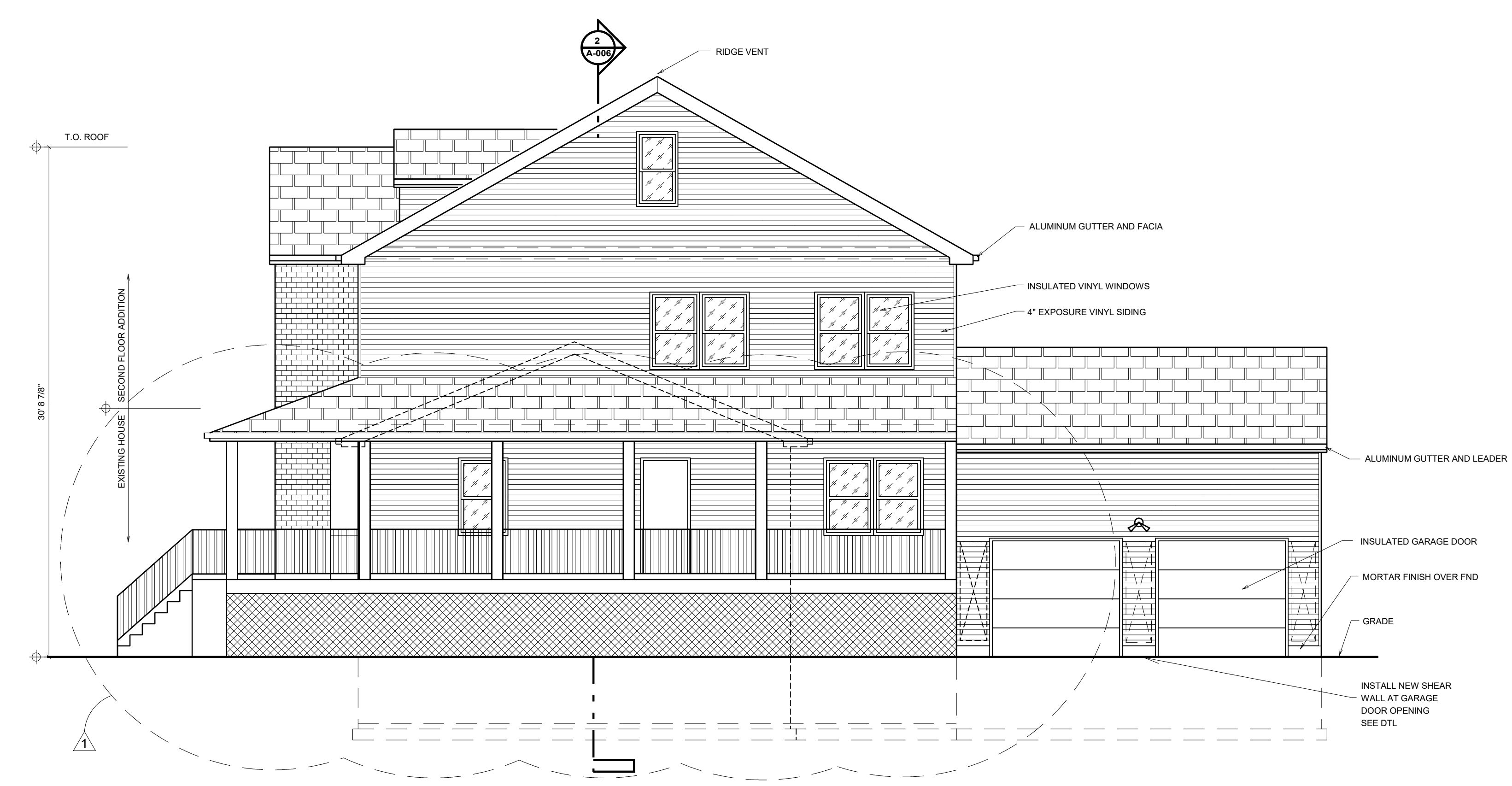
**1 FRONT SIDE ELEVATION**  
SCALE: 3/16" = 1'-0"



**2 SOUTH SIDE ELEVATION**  
SCALE: 3/16" = 1'-0"

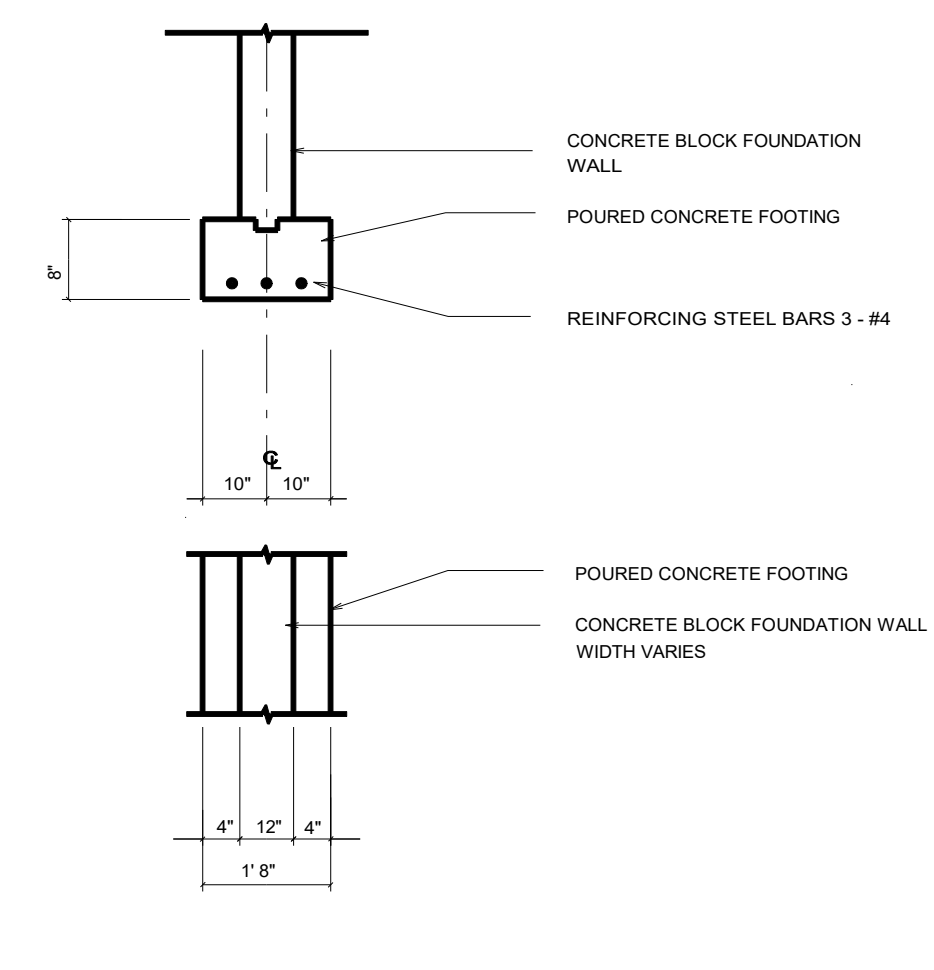


**3 REAR ELEVATION**  
SCALE: 3/16" = 1'-0"

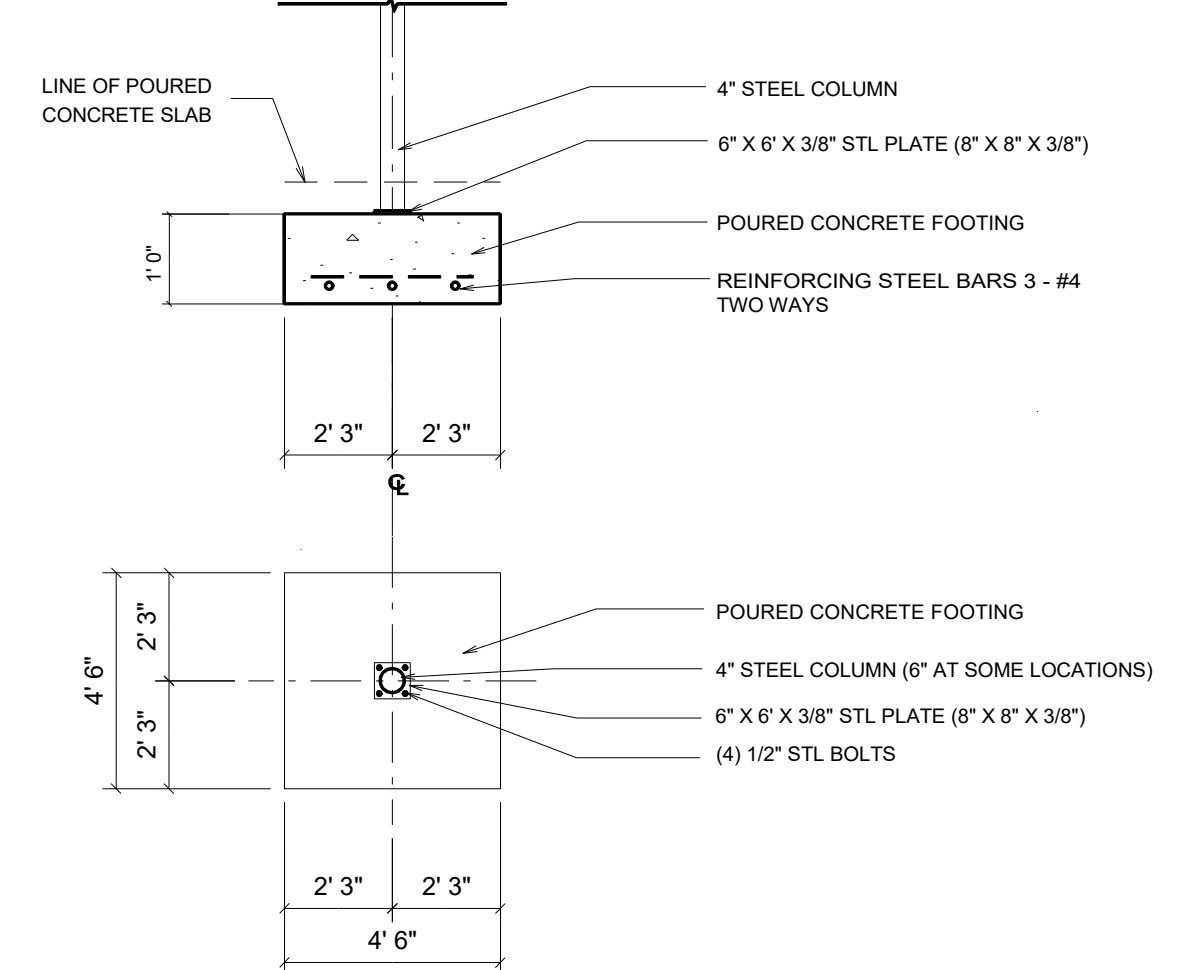


**4 NORTH SIDE ELEVATION**  
SCALE: 3/16" = 1'-0"

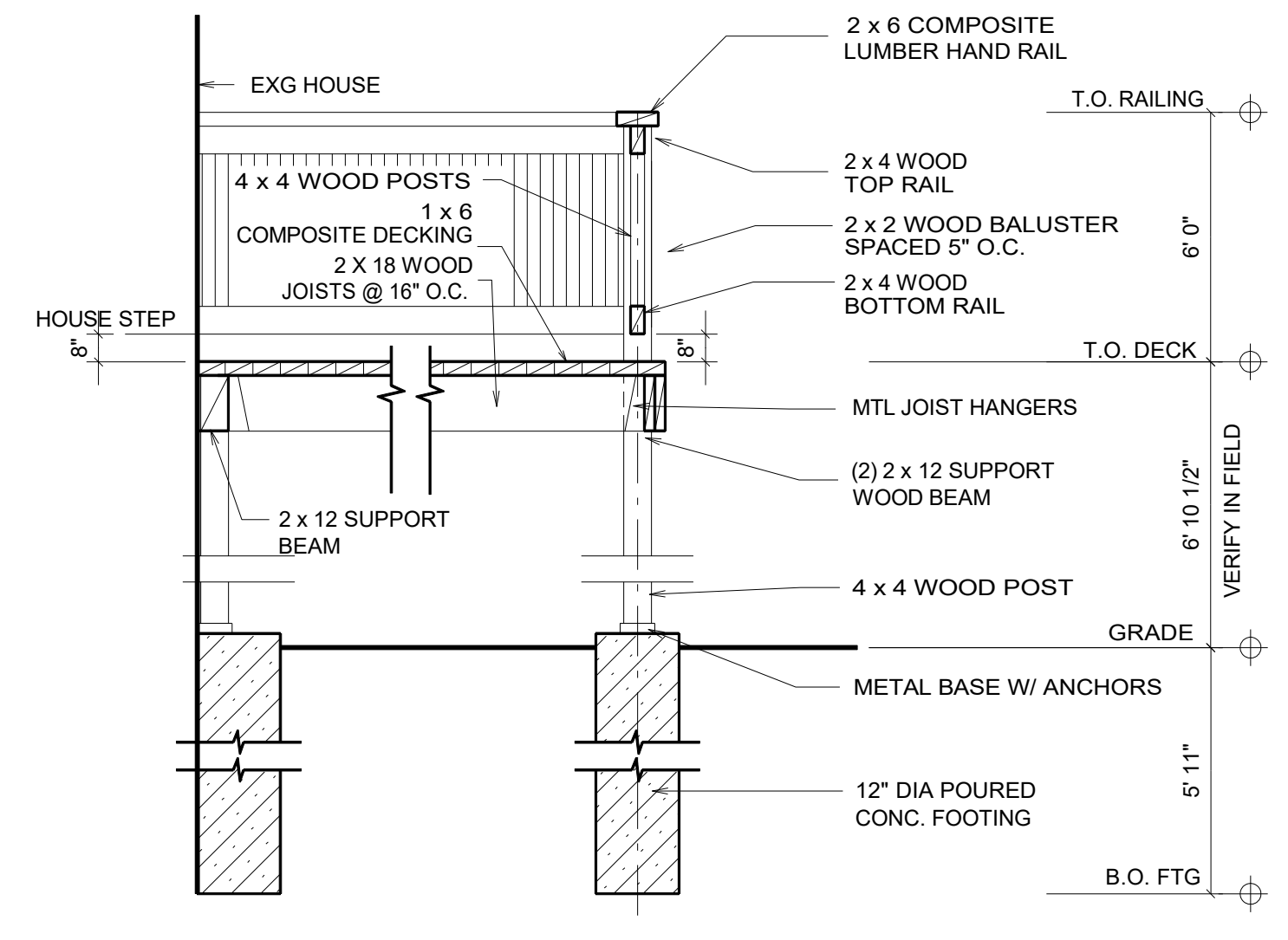
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PROJECT ADDITION AND ALTERATION TO ONE FAMILY HOUSE 303 GROVE AVENUE METUCHEN, NJ 08840	TITLE HOUSE ELEVATION	DRAWING <b>A-004.00</b> 5 OF 7



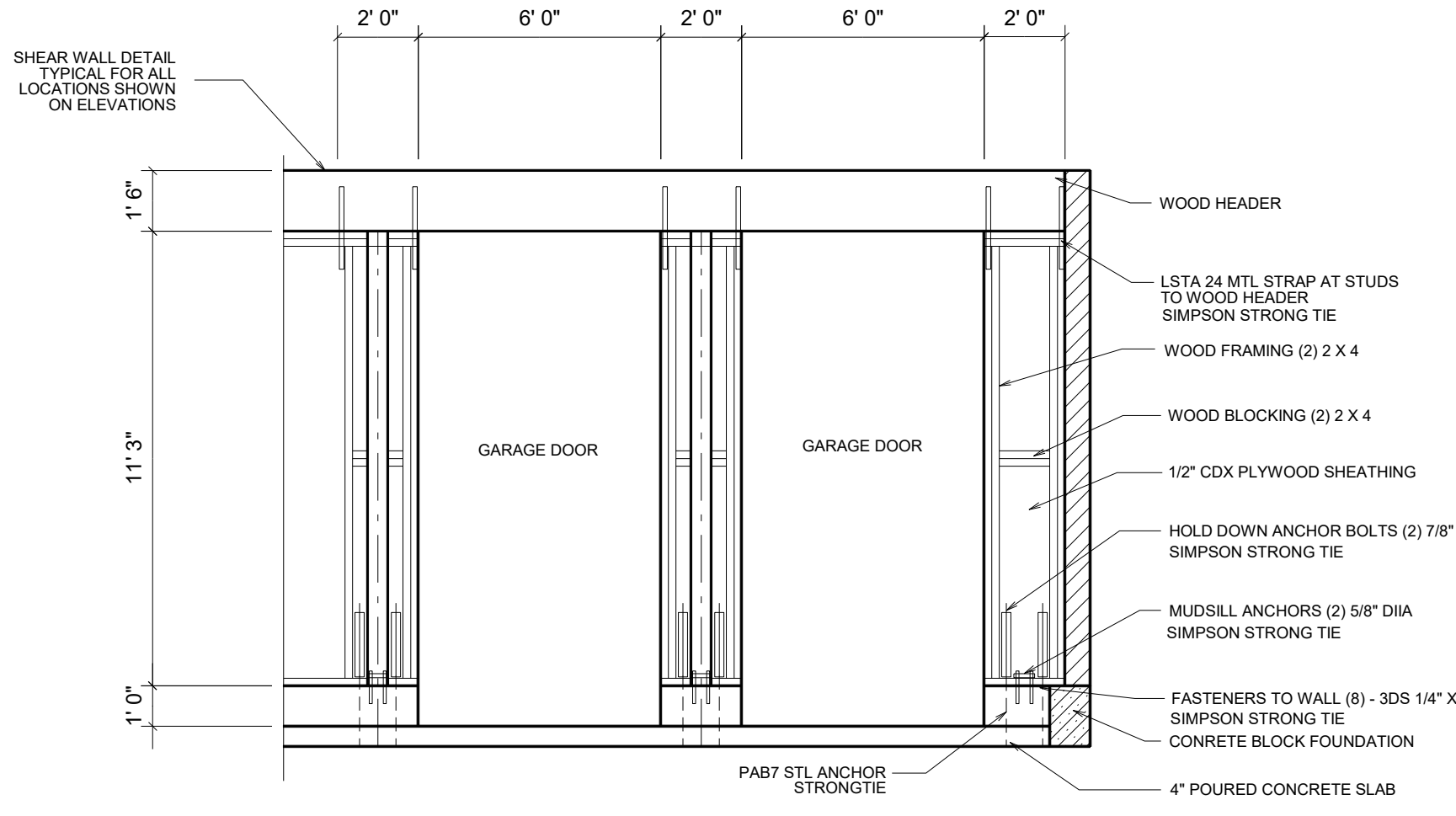
**1 FOOTING DETAIL**  
SCALE: 1/2" = 1'-0"



**2 COLUMN FTG DETAIL**  
SCALE: 1/2" = 1'-0"



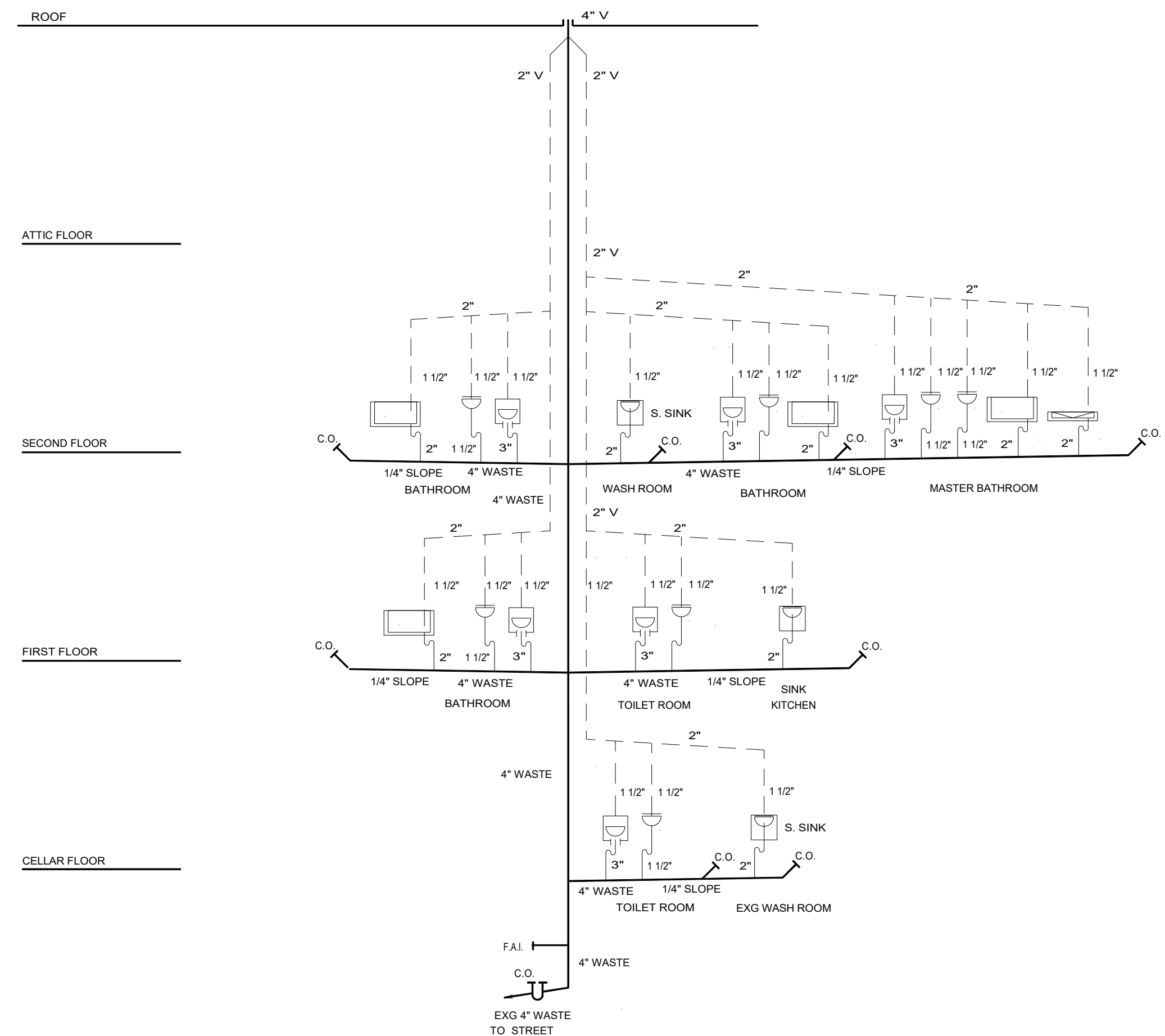
**3 DECK DETAIL**  
SCALE: 1/2" = 1'-0"



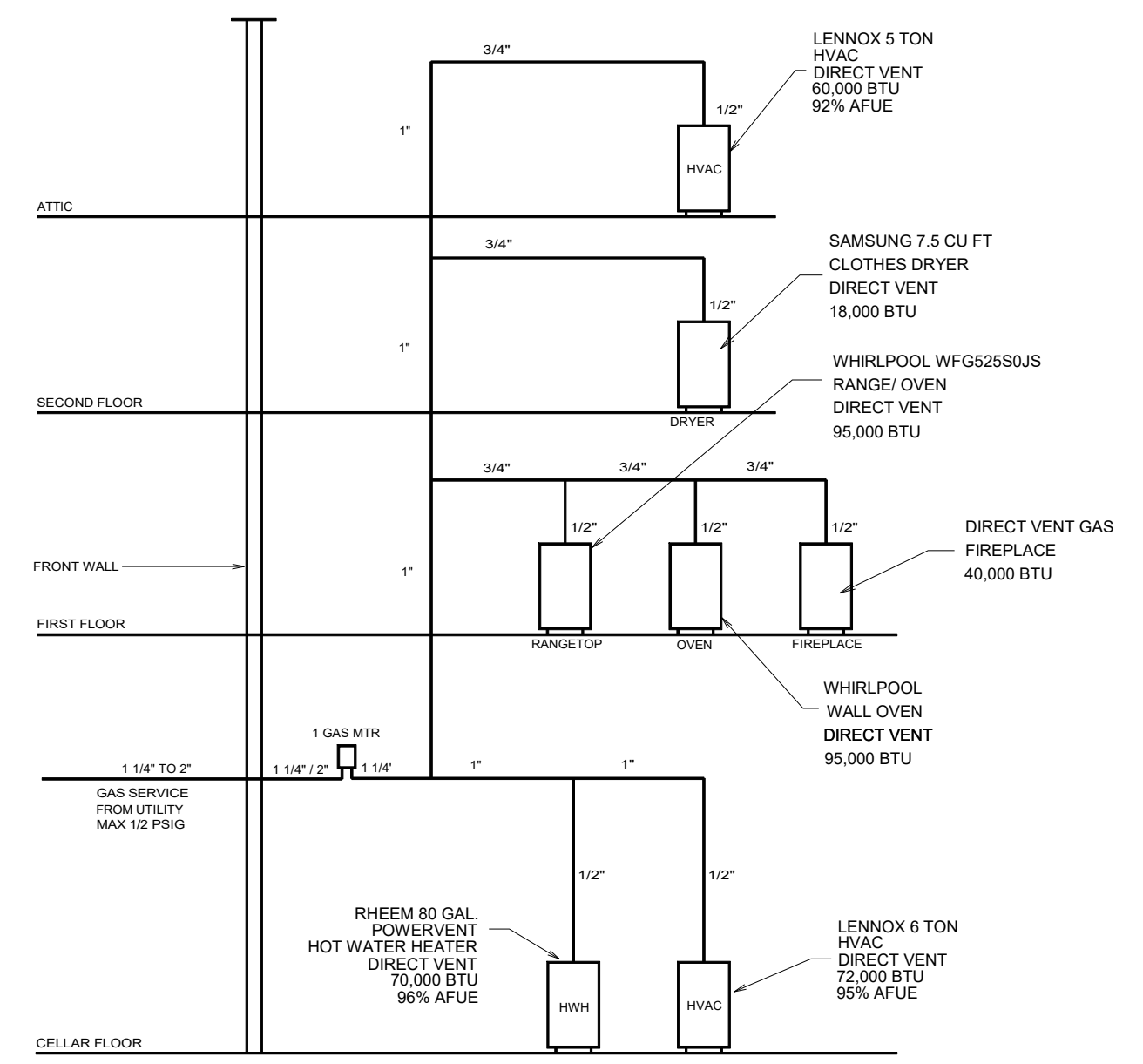
**4 SHEAR WALL DETAIL**  
SCALE: 3/8" = 1'-0"

**SHEAR WALL NOTES**

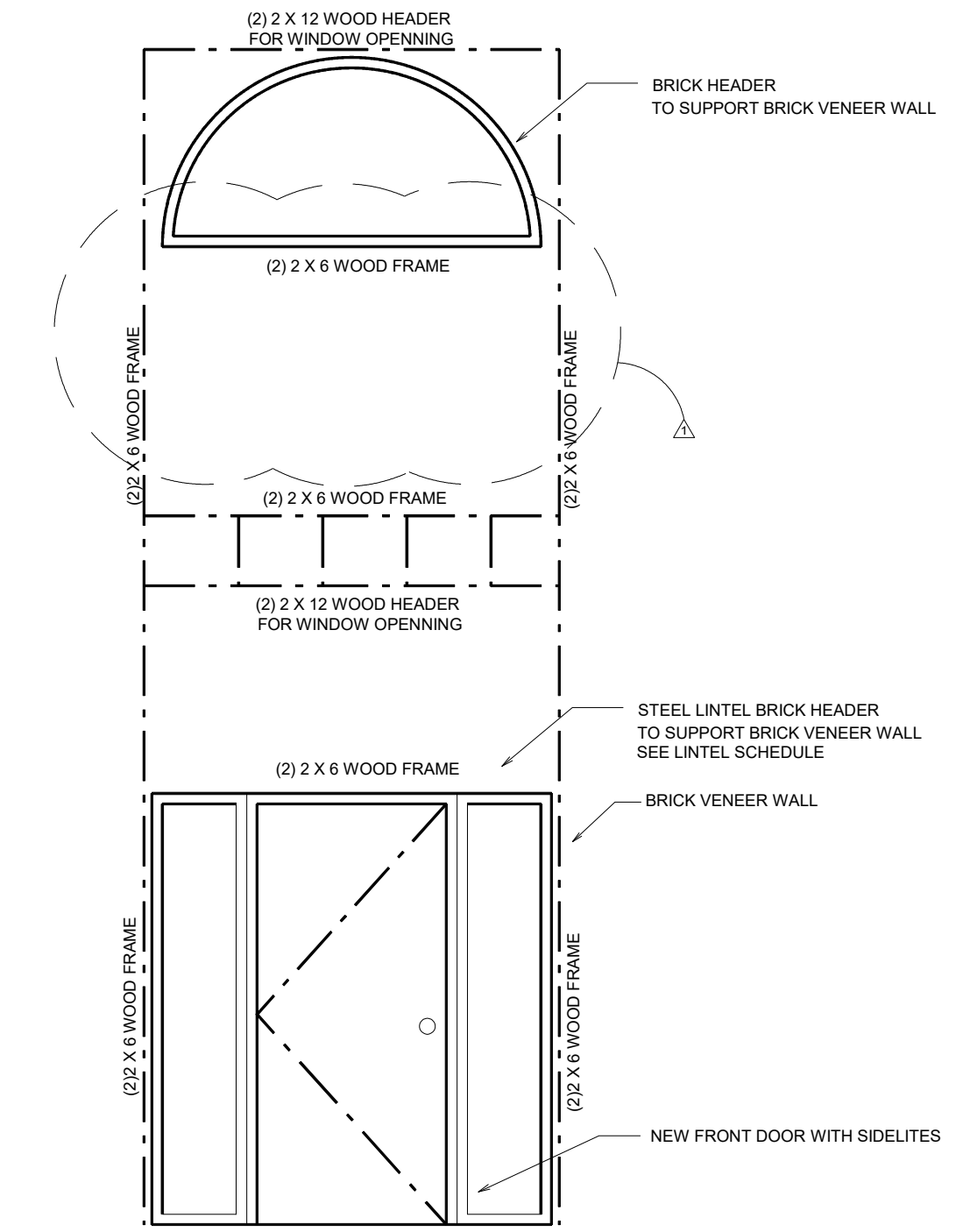
TYPICAL SHEAR WALL ASSEMBLY  
SIMPSON STRONG TIE MODEL # SW100304  
WIDTH = 10" HEIGHT=90" THICKNESS=4"  
NUMBER OF FASTENERS IN BOTTOM OF WALL  
(8) - 3DS 1/4" X 6" MUDSILL ANCHORS  
(2) - 5/8" DIA HOLD-DOWN ANCHOR BOLTS  
(2) - 7/8" DIA LSTA 24 MTL STRAP AT CORNERS OF PLYWOOD SHEATHING



**5 PLUMBING RISER DIAGRAM**  
NOT TO SCALE

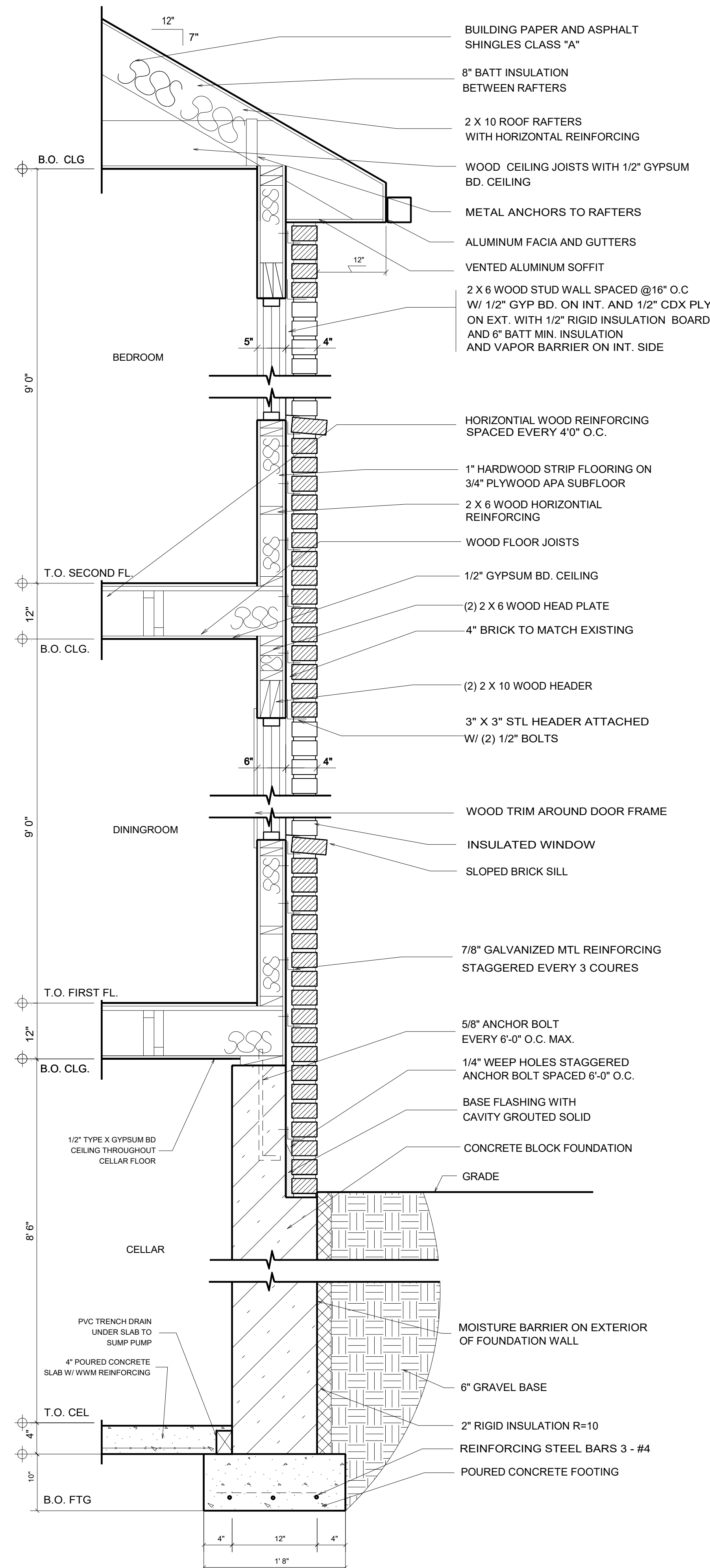


**6 GAS RISER DIAGRAM**  
NOT TO SCALE

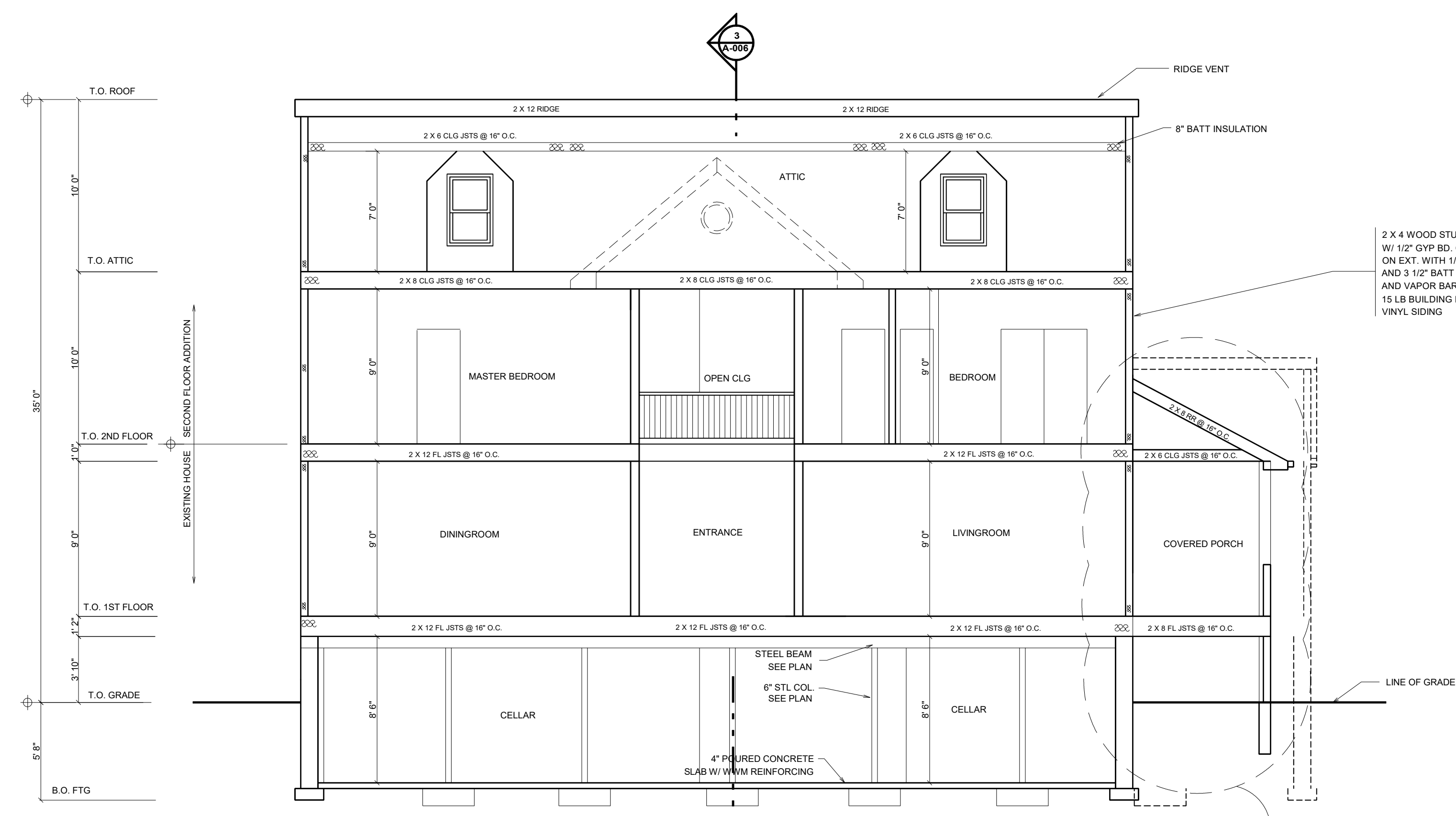


**7 ARCH WINDOW DETAIL**  
SCALE: 3/8" = 1'-0"

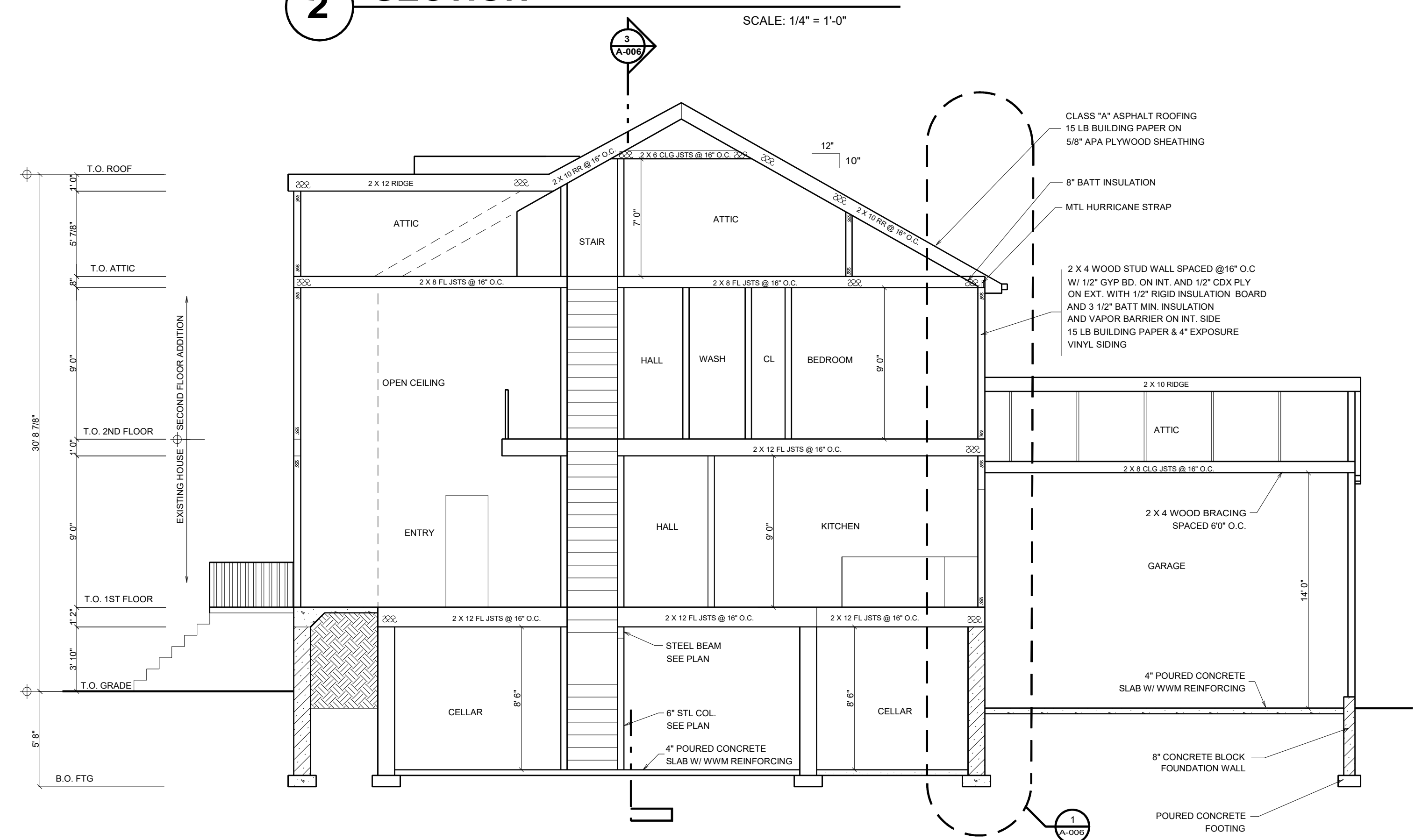
<b>JOHN RIGGIO, RA ARCHITECT</b>		PROJECT NO. 202167
172 MAIN STREET, SUITE 33 METUCHEN, NJ 08840 TEL/FAX: (732) 902-2882		DRAWN BY J.R.
		SCALE 1/4" = 1'-0"
SEAL	THE LAW PROHIBITS THE ALTERING OF THIS DOCUMENT TO CHANGE THE DOCUMENT. THERE MUST BE A LICENSED ARCHITECT PRESENT AND ABLE TO SEAL IT.	DATE 9-27-2021
PROJECT ADDITION AND ALTERATION TO ONE FAMILY HOUSE 303 GROVE AVENUE METUCHEN, NJ 08840	TITLE RISER DIAGRAMS AND DETAILS	DRAWING <b>A-005.00</b> 6 OF 7



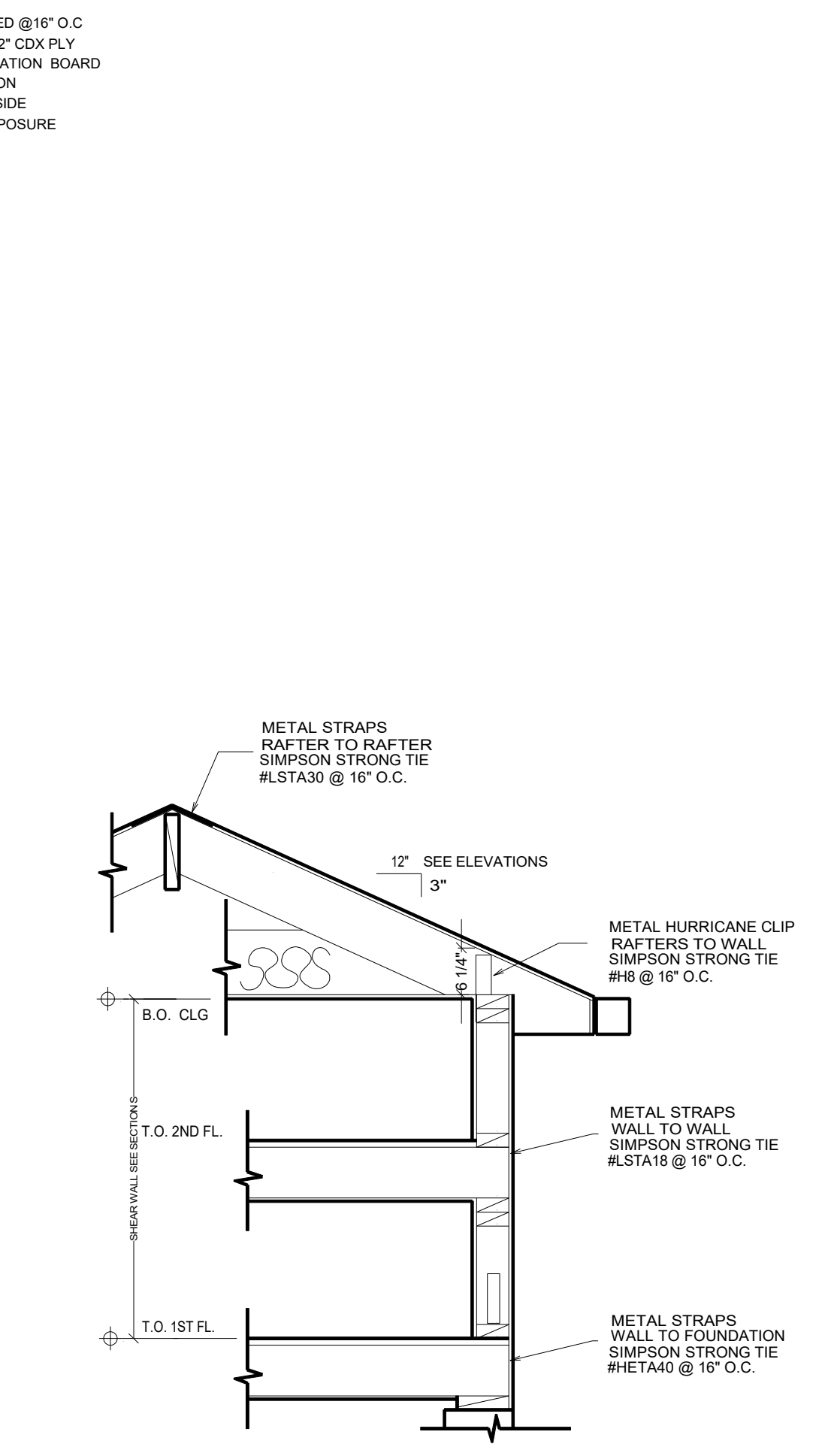
**1 WALL SECTION**  
SCALE: 1" = 1'-0"



**2 SECTION**  
SCALE: 1/4" = 1'-0"



**3 SECTION**  
SCALE: 1/4" = 1'-0"



**4 UPLIFT BRACING**  
SCALE: 1/2" = 1'-0"

UPLIFT CAPACITY				
LOCATION	MATERIAL	CODE	LENGHT	UPLIFT CAP.
RIDGE	METAL STRAPS TO RIDGE SIMPSON STRONG TIE #LSTA30	R804.3.3.1(1)	29' 0"	328 LBS
RAFTER	METAL HURRICANE CLIP TO RAFTERS SIMPSON STRONG TIE #H8	R803.8.3.2.1(1)	29' 0"	416 LBS
FLOOR	METAL STRAPS TO FLOOR JOISTS SIMPSON STRONG TIE #LSTA18	R803.8.3.2.3(1)	29' 0"	316 LBS

<b>JOHN RIGGIO, RA ARCHITECT</b>		PROJECT NO. 202167
172 MAIN STREET, SUITE 33 METUCHEN, NJ 08840		DRAWN BY J.R.
TEL/FAX: (732) 902-2882		SCALE 3/16"=1'-0"
SEAL	THE LAW PROHIBITS THE ALTERING OF THIS DOCUMENT TO CHANGE THE DOCUMENT. THERE MUST BE A LICENSED ARCHITECT PRESENT AND ABLE TO SEAL IT.	REVISION: 2, 8-17-2023 FOR VARIANCE
PROJECT	ADDITION AND ALTERATION TO ONE FAMILY HOUSE 303 GROVE AVENUE METUCHEN, NJ 08840	DATE 9-27-2021
TITLE	HOUSE ELEVATION	DRAWING A-006.00
		7 OF 7