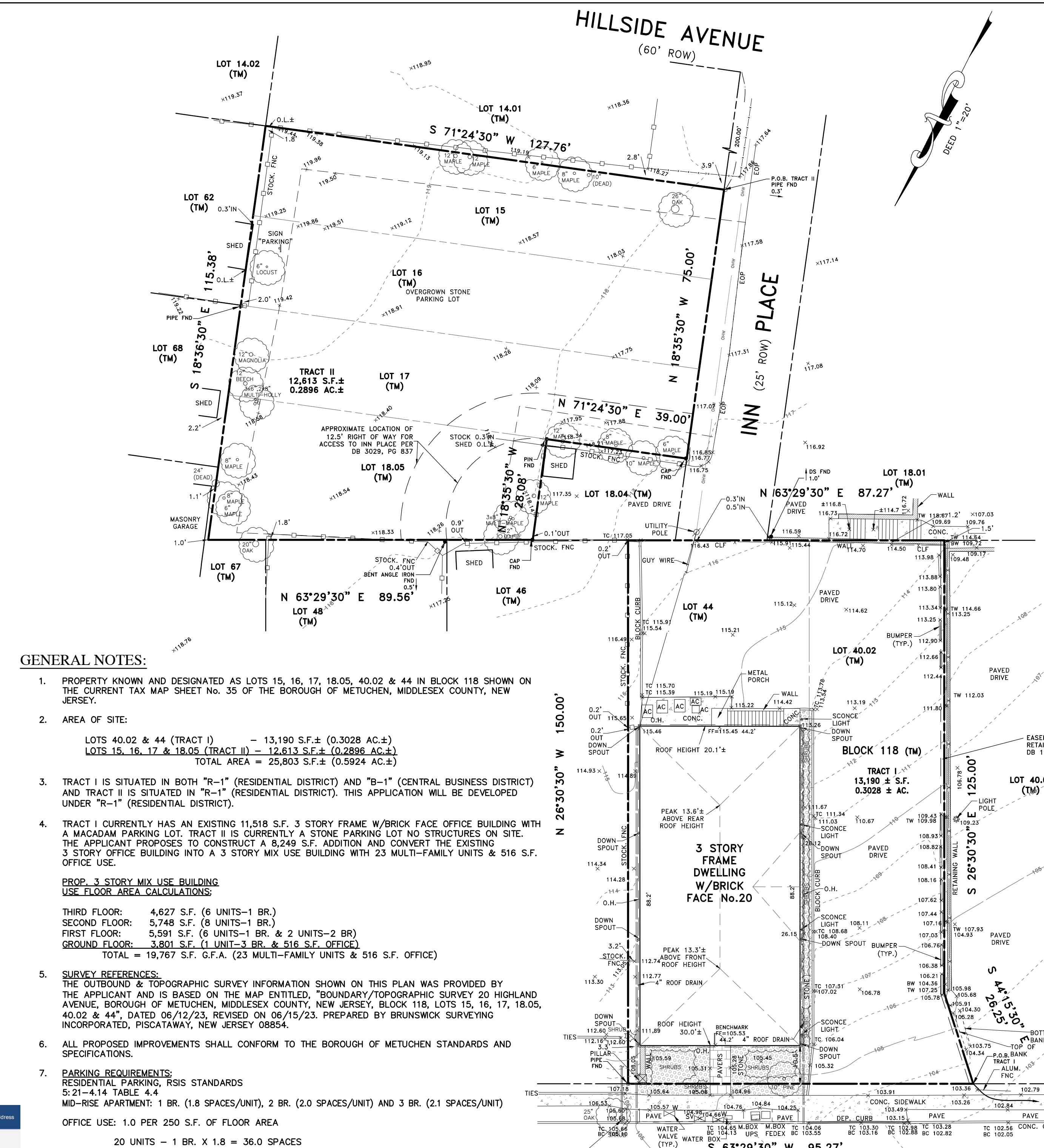


200 FT. RADIUS MAP SCALE: 1"=60'

Property ID (Block, Lot)	Property Location	Owner Name & Address	Property ID (Block, Lot)	Property Location	Owner Name & Address
120, 20	60 Robins Place	Joseph D. Roberts & Meghan Ziszworski 60 Robins Place Metuchen, NJ 08840	118, 62	59 Robins Place	Cheryl Orth 59 Robins Place Metuchen, NJ 08840
120, 19	58 Robins Place	Daniel B. Susante L. One 58 Robins Place Metuchen, NJ 08840	118, 68	65 Robins Place	Neo Frances Moore 65 Robins Place Metuchen, NJ 08840
120, 18.01	74 Robins Place	Gerald & Shirley D. Windsor 74 Robins Place Metuchen, NJ 08840	118, 50	73 Robins Place	Christoph & Diane R. Battaglia 73 Robins Place Metuchen, NJ 08840
118, 18.04	Inn Place	David Aitken 34 Highland Avenue Metuchen, NJ 08840	118, 67	30 Highland Avenue	Kevin J. McKernan, Thomas F. Grant 30 Highland Avenue Metuchen, NJ 08840
118, 14.01	Metuchen Borough	Metuchen Borough	118, 61	67 Middlesex Avenue	Geoffrey P. News-Peveren 33 Highland Avenue Metuchen, NJ 08840
118, 14.02	65 Robins Place	Cesar & Corazon Del Rosario 65 Robins Place Metuchen, NJ 08840	118, 63	608 Middlesex Avenue	David Aitken 608 Middlesex Avenue Metuchen, NJ 08840
118, 18.01	Metuchen Borough	Metuchen Borough	118, 69	609 Middlesex Avenue	Metuchen Borough 609 Middlesex Avenue Metuchen, NJ 08840
118, 13.02	65 Robins Place	Cesar & Corazon Del Rosario 65 Robins Place Metuchen, NJ 08840	118, 65	603 Middlesex Avenue	Metuchen Borough 603 Middlesex Avenue Metuchen, NJ 08840
118, 12	62 Inn Place	Cesar & Corazon Del Rosario 62 Inn Place Metuchen, NJ 08840	118, 61	491 Middlesex Avenue	Metuchen Borough 491 Middlesex Avenue Metuchen, NJ 08840
118, 11	29 Hillside Avenue	Vit L. La 29 Hillside Avenue Metuchen, NJ 08840	117, 70	491 Middlesex Avenue	Metuchen Borough 491 Middlesex Avenue Metuchen, NJ 08840
118, 9	91 Hillside Avenue	Edison M. Fierro 91 Hillside Avenue Metuchen, NJ 08840	117, 72	491 Middlesex Avenue	Metuchen Borough 491 Middlesex Avenue Metuchen, NJ 08840
118, 7	39 Hillside Avenue	Mitsuko I. Thornton 39 Hillside Avenue Metuchen, NJ 08840	117, 38.01	43 Highland Avenue	Metuchen Borough 43 Highland Avenue Metuchen, NJ 08840
118, 5	85 Hillside Avenue	Josée C. Digiamello 85 Hillside Avenue Metuchen, NJ 08840	117, 40	37 Highland Avenue	Metuchen Borough 37 Highland Avenue Metuchen, NJ 08840
118, 3	49 Robins Place	Sen. Ronald W. Windham & Son, Inc. 49 Robins Place Metuchen, NJ 08840	117, 41	37 Highland Avenue	Metuchen Borough 37 Highland Avenue Metuchen, NJ 08840
118, 1	45 Robins Place	Fred A. Aitken 45 Robins Place Metuchen, NJ 08840	117, 43	33 Highland Avenue	Metuchen Borough 33 Highland Avenue Metuchen, NJ 08840
118, 06.02	65 Robins Place	Cesar & Corazon Del Rosario 65 Robins Place Metuchen, NJ 08840	117, 44	33 Highland Avenue	Metuchen Borough 33 Highland Avenue Metuchen, NJ 08840
118, 06.01	65 Robins Place	Cesar & Corazon Del Rosario 65 Robins Place Metuchen, NJ 08840	117, 46	25 Highland Avenue	Metuchen Borough 25 Highland Avenue Metuchen, NJ 08840
118, 04	65 Robins Place	Cesar & Corazon Del Rosario 65 Robins Place Metuchen, NJ 08840	117, 48	21 Highland Avenue	Metuchen Borough 21 Highland Avenue Metuchen, NJ 08840
117, 54.02	470 Main Street	Highland Main Acquisition LLC 470 Main Street Metuchen, NJ 08840	117, 50	Highland Avenue	Highland Main Acquisition LLC Highland Avenue Metuchen, NJ 08840

- UTILITIES LIST:**
- P.E. & G. Co. Manager-Corporate Properties 80 Park Plaza, 1608 Newark, NJ 07102
  - Elizabeth Gas Co. 1 Elizabeth Plaza P.O. Box 3174 Union, NJ 07083
  - Cablevision of Raritan Valley 275 Centennial Avenue CN 6885 Piscataway, NJ 08855
  - Attn: Marguerite Proverville Construction Department
  - Texas Eastern Transmission Corp. 501 Coeldge Street South Plainfield, NJ 07080
  - New Jersey Bell Telephone Co. 540 Broad St. - Room 305 Newark, NJ 07101
  - Middlesex Water Co. 485 Rt 1 So., Bldg C. 4th Flr. Iselin, NJ 08830
  - Parking Authority 500 Main Street Metuchen, NJ 08840
  - Freehold Soil Conservation District 4000 Kozloski Road P.O. Box 5033 Freehold, NJ 07728-5033
  - DEPT OF TRANSPORTATION 1035 PARKWAY AVENUE CN 413 TRENTON, NJ 08625



HIGHLAND AVENUE (50' ROW) EXISTING CONDITIONS MAP SCALE: 1"=20'

BULK REQUIREMENTS FOR "R-1" (RESIDENTIAL DISTRICT)

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA:	TRACT I 10,000 SF	TRACT II 13,190 SF	13,190 SF
MINIMUM LOT WIDTH:	TRACT I 75 FT	TRACT II 87.27 FT	87.27 FT
MINIMUM LOT DEPTH:	TRACT I 100 FT	TRACT II 150 FT	150 FT
MINIMUM FRONT YARD SETBACK:	TRACT I 30 FT	(E) 10.5 FT	(E) 10.5 FT
MINIMUM ONE SIDE YARD SETBACK:	TRACT I 10 FT	(E) 3.3 FT	(E) 3.3 FT
MINIMUM BOTH SIDE YARD SETBACKS:	TRACT I 20 FT	43.1 FT	43.1 FT
MINIMUM REAR YARD SETBACK:	TRACT I 25 FT	51.3 FT	(V) 10.08 FT
MAXIMUM BUILDING COVERAGE:	TRACT I 30%	(3,896 SF±) 29.5%	(V) (5,716 SF±) 43.3%
MAXIMUM IMPERVIOUS COVERAGE:	TRACT I 50%	(E) (11,953 SF±) 90.6%	(E) (11,136 SF±) 84.4%
MAXIMUM BUILDING HEIGHT:	TRACT I 35 FT/3 STY	34.44 FT/3 STY	34.44 FT/3 STY

\* THE PREVAILING SETBACK (FOR TRACT I) CONSIDERS THE IMMEDIATE ADJACENT LOTS ON EITHER SIDE OF THE TRACT (LOTS 46 AND 40.01). LOT 46 IS 24 HIGHLAND AVENUE CONTAINING A DWELLING AND LOT 40.01 IS PART OF ANOTHER LOT BUT HAS NO BUILDING, AS SUCH, THE AVERAGE SETBACK IS CALCULATED AS ONLY 24 HIGHLAND AVENUE SINCE THE OTHER LOT HAS NO BUILDING, WHICH MEANS THE PREVAILING FRONT YARD SETBACK IS 30 FEET.

(E) - EXISTING NON CONFORMING  
(V) - PROPOSED VARIANCE  
N/A - NOT APPLICABLE

**GENERAL NOTES:**

- PROPERTY KNOWN AND DESIGNATED AS LOTS 15, 16, 17, 18.05, 40.02 & 44 IN BLOCK 118 SHOWN ON THE CURRENT TAX MAP SHEET NO. 35 OF THE BOROUGH OF METUCHEN, MIDDLESEX COUNTY, NEW JERSEY.
- AREA OF SITE:  
LOTS 40.02 & 44 (TRACT I) - 13,190 S.F.± (0.3028 AC.±)  
LOTS 15, 16, 17 & 18.05 (TRACT II) - 12,613 S.F.± (0.2896 AC.±)  
TOTAL AREA = 25,803 S.F.± (0.5924 AC.±)
- TRACT I IS SITUATED IN BOTH "R-1" (RESIDENTIAL DISTRICT) AND "B-1" (CENTRAL BUSINESS DISTRICT) AND TRACT II IS SITUATED IN "R-1" (RESIDENTIAL DISTRICT). THIS APPLICATION WILL BE DEVELOPED UNDER "R-1" (RESIDENTIAL DISTRICT).
- TRACT I CURRENTLY HAS AN EXISTING 11,518 S.F., 3 STORY FRAME W/BRICK FACE OFFICE BUILDING WITH A MACADAM PARKING LOT. TRACT II IS CURRENTLY A STONE PARKING LOT NO STRUCTURES ON SITE. THE APPLICANT PROPOSES TO CONSTRUCT A 8,249 S.F. ADDITION AND CONVERT THE EXISTING 3 STORY OFFICE BUILDING INTO A 3 STORY MIX USE BUILDING WITH 23 MULTI-FAMILY UNITS & 516 S.F. OFFICE USE.  
**PROP. 3 STORY MIX USE BUILDING USE FLOOR AREA CALCULATIONS:**  
THIRD FLOOR: 4,627 S.F. (6 UNITS-1 BR.)  
SECOND FLOOR: 5,748 S.F. (8 UNITS-1 BR.)  
FIRST FLOOR: 5,591 S.F. (6 UNITS-1 BR. & 2 UNITS-2 BR.)  
GROUND FLOOR: 3,801 S.F. (1 UNIT-3 BR. & 516 S.F. OFFICE)  
TOTAL = 19,767 S.F. G.F.A. (23 MULTI-FAMILY UNITS & 516 S.F. OFFICE)
- SURVEY REFERENCES:**  
THE OUTBOUND & TOPOGRAPHIC SURVEY INFORMATION SHOWN ON THIS PLAN WAS PROVIDED BY THE APPLICANT AND IS BASED ON THE MAP ENTITLED, "BOUNDARY/TOPOGRAPHIC SURVEY 20 HIGHLAND AVENUE, BOROUGH OF METUCHEN, MIDDLESEX COUNTY, NEW JERSEY, BLOCK 118, LOTS 15, 16, 17, 18.05, 40.02 & 44", DATED 06/12/23, REVISED ON 06/15/23. PREPARED BY BRUNSWICK SURVEYING INCORPORATED, PISCATAWAY, NEW JERSEY 08854.
- ALL PROPOSED IMPROVEMENTS SHALL CONFORM TO THE BOROUGH OF METUCHEN STANDARDS AND SPECIFICATIONS.
- PARKING REQUIREMENTS:**  
RESIDENTIAL PARKING, RIS STANDARDS  
5:21-4.14 TABLE 4.4  
MID-RISE APARTMENT: 1 BR. (1.8 SPACES/UNIT), 2 BR. (2.0 SPACES/UNIT) AND 3 BR. (2.1 SPACES/UNIT)  
OFFICE USE: 1.0 PER 250 S.F. OF FLOOR AREA  
20 UNITS - 1 BR. X 1.8 = 36.0 SPACES  
2 UNITS - 2 BR. X 2.0 = 4.0 SPACES  
1 UNIT - 3 BR. X 2.1 = 2.1 SPACES  
516 S.F. OFFICE /250 S.F. = 2.1 SPACES  
TOTAL REQUIRED PARKING = 43.2 = 43 SPACES  
TOTAL PROVIDED PARKING = 37 SPACES (+35 SPACES FOR SITE, 2 FOR ADJACENT PROPERTY)

(EXCEPTION REQUIRED)  
EV READY STALLS (35 X 0.15 = 5.25 STALLS), 6 STALLS PROPOSED  
ONE-THIRD MINIMUM TO BE INSTALLED AS EVSE ACTIVE (6 X 0.33 = 1.98 ROUNDED TO 2 STALLS MIN.)  
10% MAXIMUM CREDIT FOR EVSE/MAKE-READY (43 X 0.10 = 4.3 STALLS CREDIT)  
35 PROVIDED + 4.3 EVSE CREDIT = 39.3, 39 PROVIDED  
THEREFORE 43 SPACES REQUIRED - 39 PROVIDED = 4 DEFICIENT SPACES. (V)

- ADA PARKING REQUIREMENTS  
ADA SPACES REQUIRED (26-50 SPACES) = 2 (1 VAN ACCESSIBLE)  
ADA SPACES PROVIDED = 3 (1 VAN ACCESSIBLE, 1 REGULAR, 1 EVSE)
- BICYCLE PARKING AS RECOMMENDED BY THE BOROUGH PLANNER  
BICYCLE PARKING RECOMMENDED = 1 PER APARTMENT = 23  
BICYCLE PARKING PROVIDED = 23 = BIKE RACK (2 BIKES) OUTSIDE PLUS 21 INSIDE (BIKE ROOM ON GROUND FLOOR PLUS HOOKS IN APARTMENTS, REFER TO ARCHITECT'S PLAN)

**OWNER/APPLICANT:**  
OWNER: CYDARA LLC  
20 HIGHLAND AVENUE  
METUCHEN, NJ 08840  
APPLICANT: 51 HOLLY RD. ASSOCIATES, LLC  
JAMIE GORDON  
P.O. BOX 476  
METUCHEN, NJ 08840  
732-709-8297

**INDEX OF DRAWINGS**

DRAWING DESCRIPTION	SHEET NO.	LAST REVISED
200 FT. RADIUS MAP & EXISTING CONDITIONS MAP	1	01/28/24
DIMENSIONING PLAN	2	01/28/24
GRADING AND UTILITY PLAN & DETAILS	3	01/28/24
LANDSCAPING PLAN & DETAILS	4	01/28/24
LIGHTING PLAN & DETAILS	5	01/28/24
CONSTRUCTION DETAILS	6	01/28/24
SOIL EROSION AND SEDIMENT CONTROL PLAN & DETAILS	7	01/28/24



KEY/ZONING MAP SCALE: 1" = 400'

APPROVED BY THE METUCHEN ZONING BOARD OF ADJUSTMENT

CHAIRMAN OF THE ZONING BOARD OF ADJUSTMENT DATE  
SECRETARY OF THE ZONING BOARD OF ADJUSTMENT DATE  
BOROUGH ENGINEER DATE

CERTIFICATION OF SITE IMPROVEMENTS IN COMPLIANCE WITH PROWAG AND ADAAG  
THE UNDERSIGNED CERTIFIES THAT THE DESIGN OF PROPOSED SITE IMPROVEMENTS MEETS THE REQUIREMENTS SET FORTH IN THE US ACCESS BOARD'S PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND AMERICAN DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG).  
LESLIE A. WALKER III, PE DATE 01/28/24  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NUMBER: 24GE04729700

**200 FT. RADIUS MAP & EXISTING CONDITIONS MAP**

GRAPHIC SCALE 1" = 20'

REV.	DESCRIPTION	DATE	BY
3	REVISED PLAN PER BOROUGH PLANNER'S LETTER DATED 12/13/23	01/28/24	DSA
2	REVISED PLAN PER BOROUGH PLANNER'S COMMENTS 11/02/23	11/02/23	DSA
1	REVISED PLAN PER BOROUGH PLANNER'S LETTER DATED 10/27/23	10/31/23	DSA

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**MERIDIAN ENGINEERING GROUP, INC.**  
CERTIFICATE OF AUTHORIZATION NUMBER: 24GA28084700

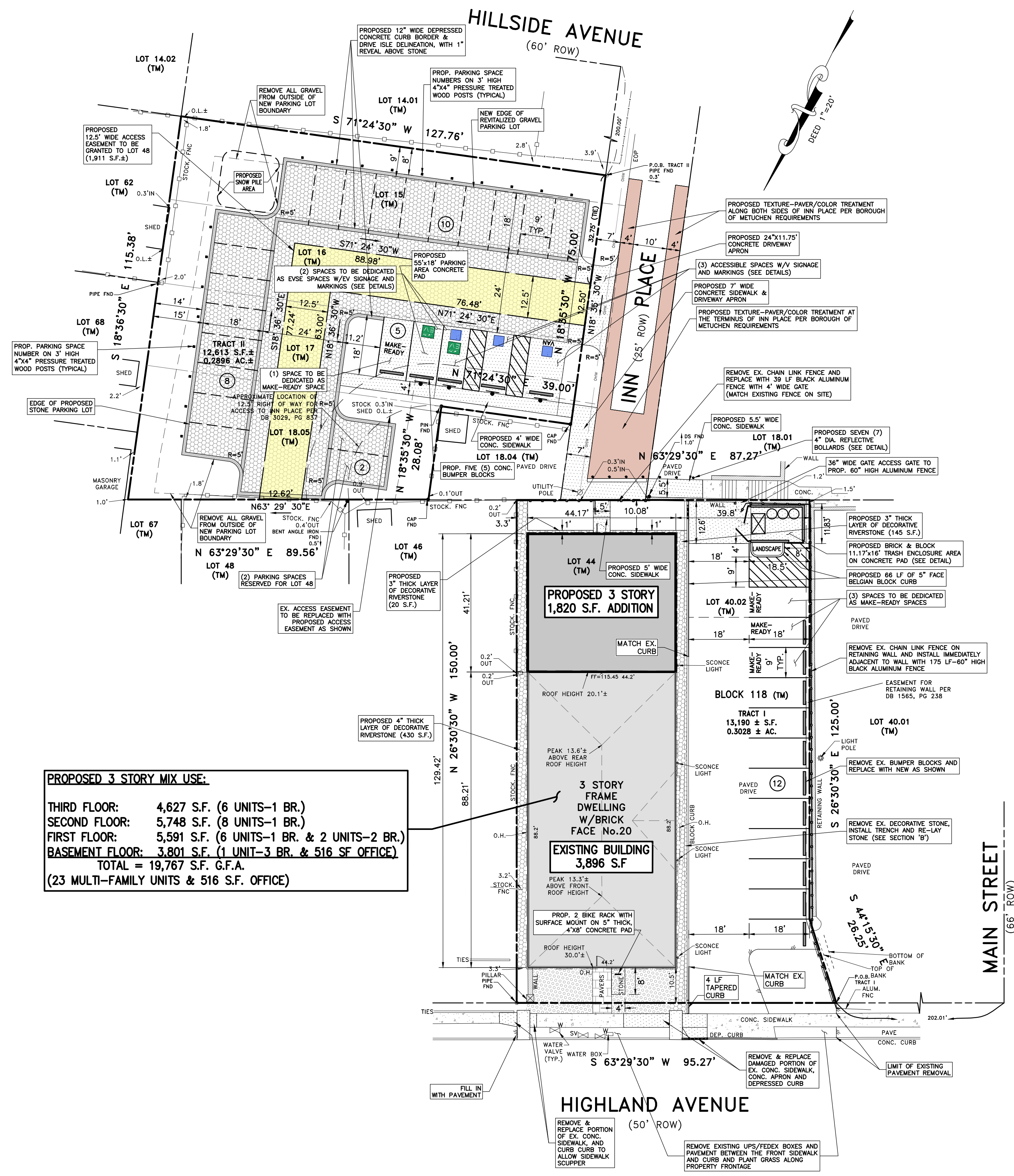
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www.meridianeng.com • info@meridianeng.com

SITE PLAN  
PREPARED FOR:  
**MIXED USE**  
LOTS 15-17, 18.05, 40.02 & 44 IN BLOCK 118  
20 HIGHLAND AVENUE  
SITUATED IN:  
BOROUGH OF METUCHEN  
MIDDLESEX COUNTY, NEW JERSEY

CAD: 46-65 DATE: 10/18/23 SCALE: 1" = 20'  
FILE: 046.0065 DRAWN: DSA SHEET 1 OF 7

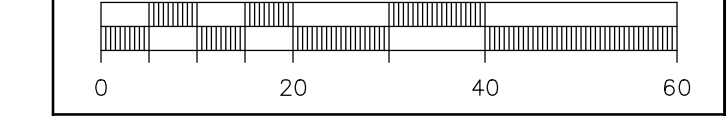
LESLIE A. WALKER III, PE DATE 01/28/24  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NUMBER: 24GE04729700



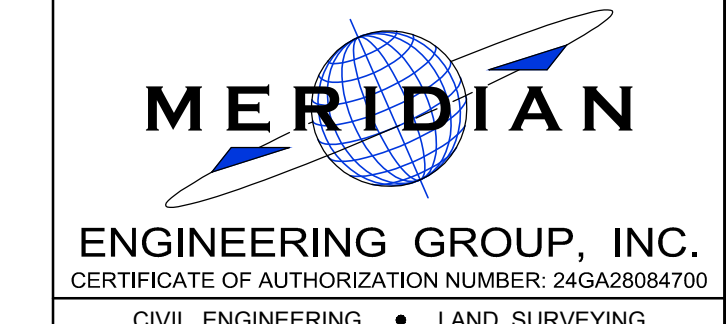
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1	REVISED PLAN PER BOROUGH PLANNER'S LETTER DATED 10/27/23	10/31/23	DSA
REV.	DESCRIPTION	DATE	BY

**DIMENSIONING PLAN**

**GRAPHIC SCALE 1" = 20'**



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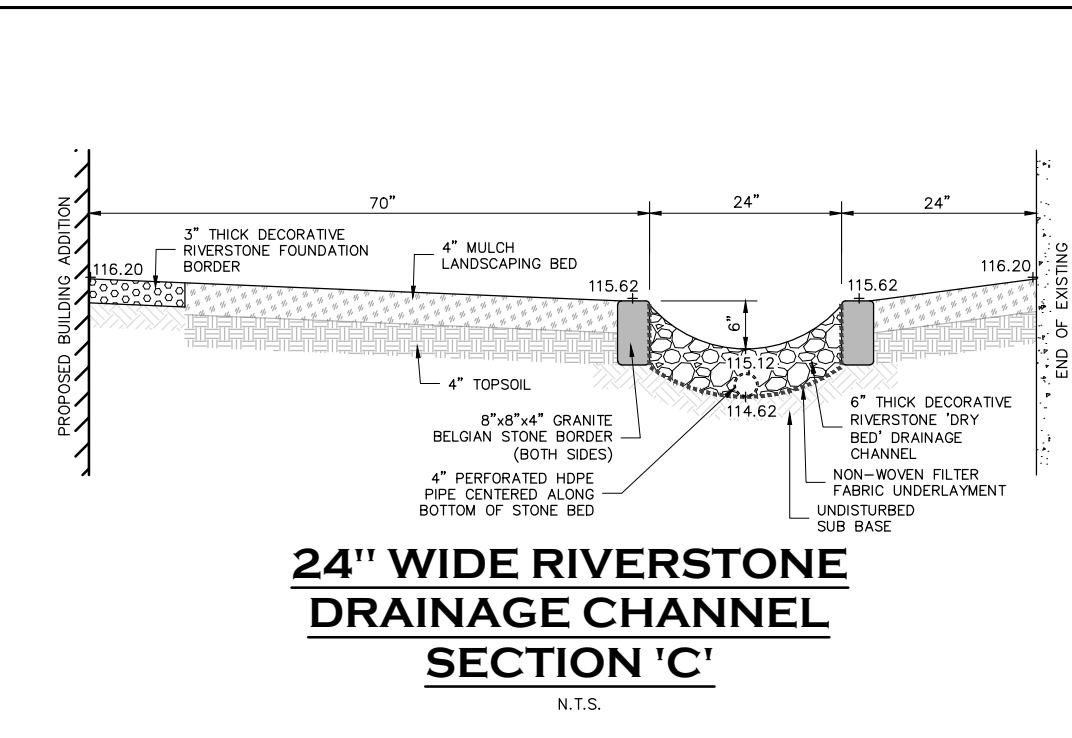
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www.meridianegi.com • info@meridianegi.com

**SITE PLAN**  
PREPARED FOR:  
**MIXED USE**  
LOTS 15-17, 18.05, 40.02 & 44 IN BLOCK 118  
20 HIGHLAND AVENUE  
SITUATED IN:  
BOROUGH OF METUCHEN  
MIDDLESEX COUNTY, NEW JERSEY

CAD:	46-65	DATE:	10/18/23	SCALE:	1" = 20'
FILE:	046.0065	DRAWN:	DSA	SHEET:	2 OF 7

*Leslie A. Walker III*  
**LESLIE A. WALKER III, PE** DATE  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NUMBER: 24GE04729700



**DRAINAGE AREA CALCULATIONS TO PROPOSED TRENCH DRAIN**  
 (BASED ON NJDOT ROADWAY DESIGN MANUAL, SECTION 10.3, RATIONAL METHOD, 100-YR STORM EVENT)

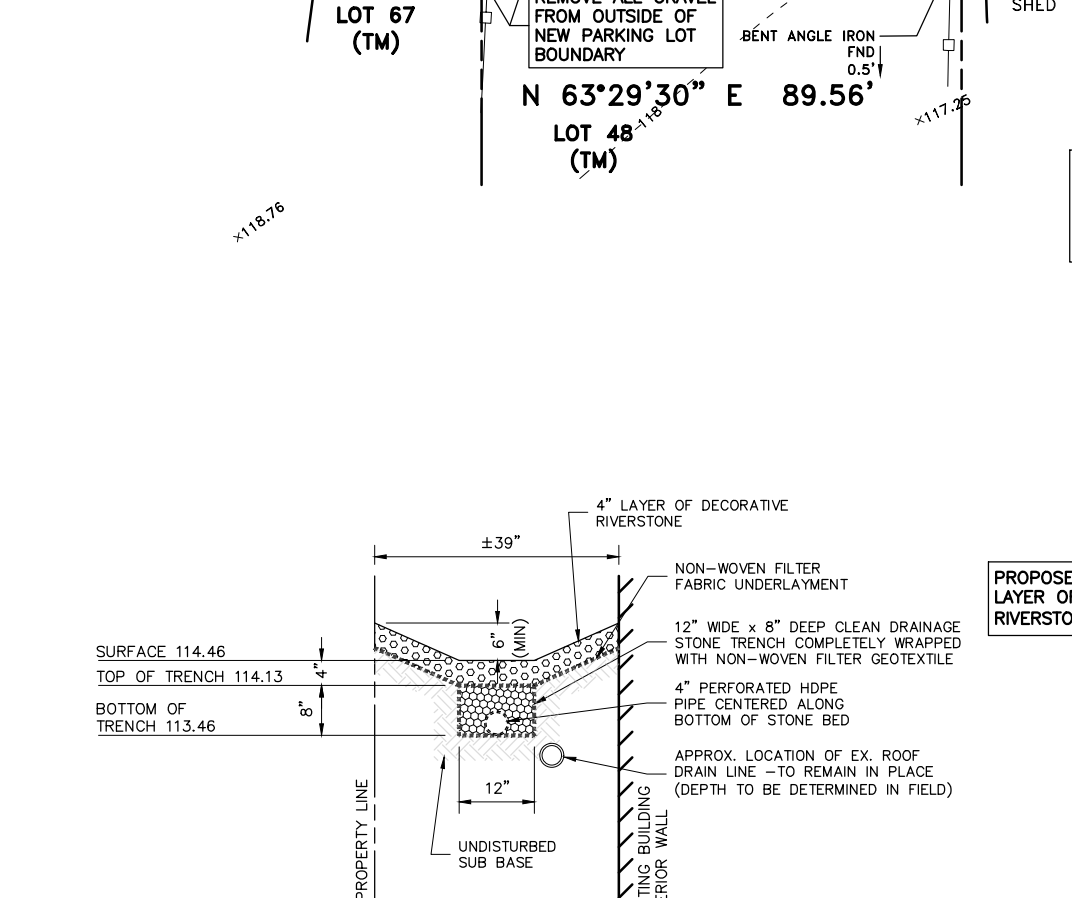
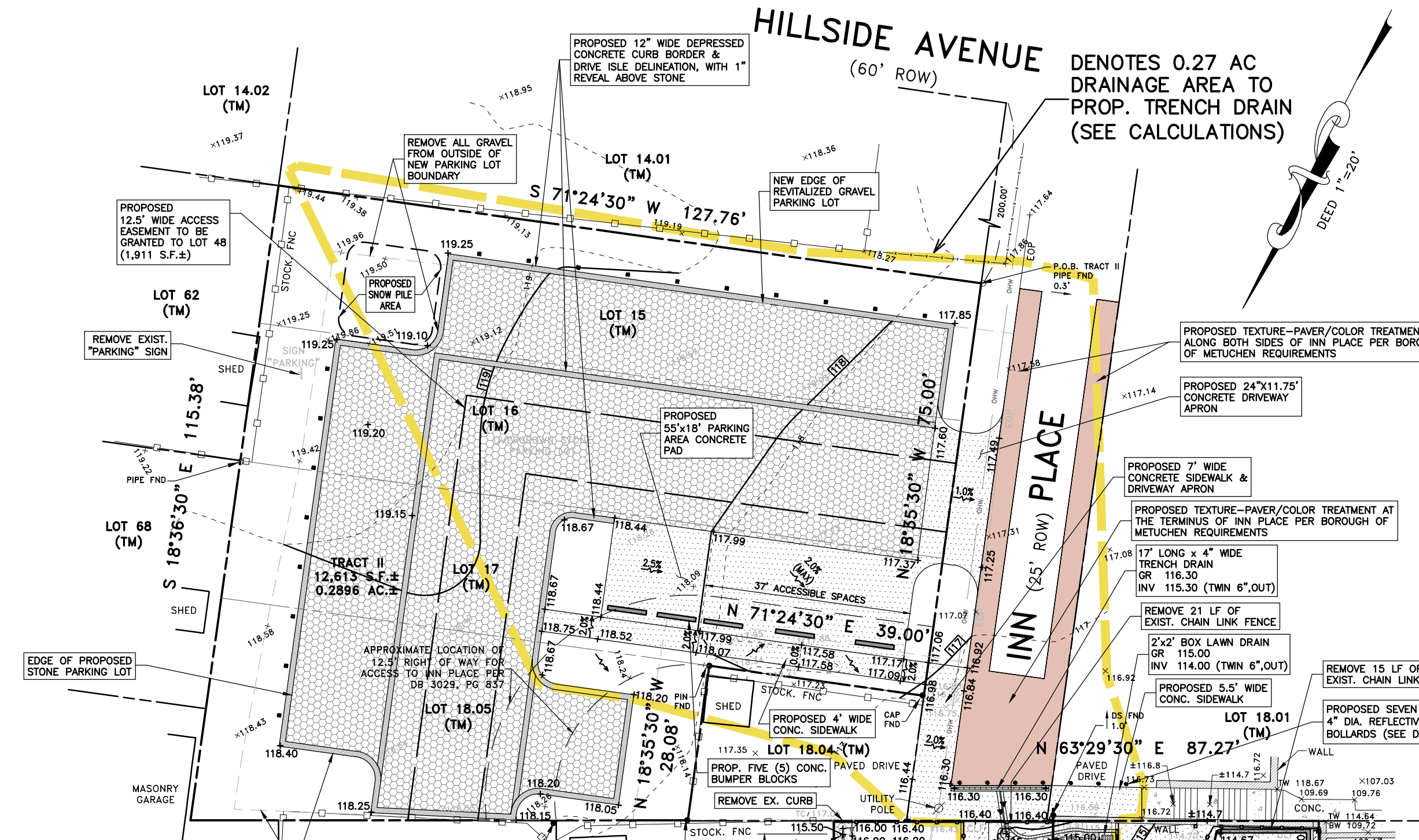
COEFFICIENT (C) - 'C' HSC BOONTON SOILS,  
 0.11 AC (IMPERVIOUS, C=0.99)  
 0.15 AC (GRAVEL, C=0.80)  
 0.01 AC (GRASS, C=0.51)  
 WEIGHTED C = 0.87

100YR STORM INTENSITY (I<sub>100</sub>) - Tc ASSUME 6 MINUTES MIN. = 6.5 IN/HR

AREA (A) = 0.27 AC

Q<sub>100</sub> = (C)(I<sub>100</sub>)(A) = 0.87 x 6.5 x 0.27 = 1.5 CFS

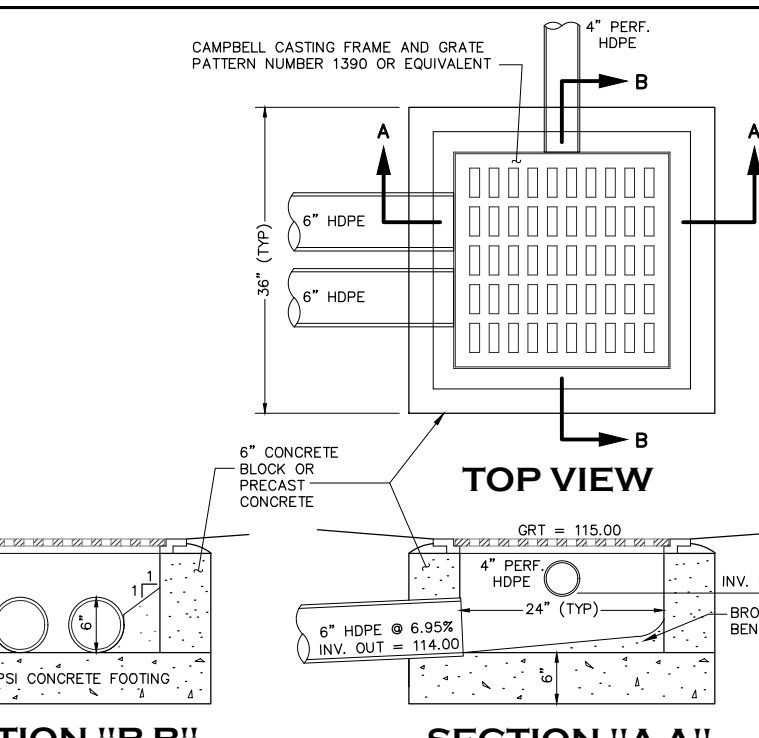
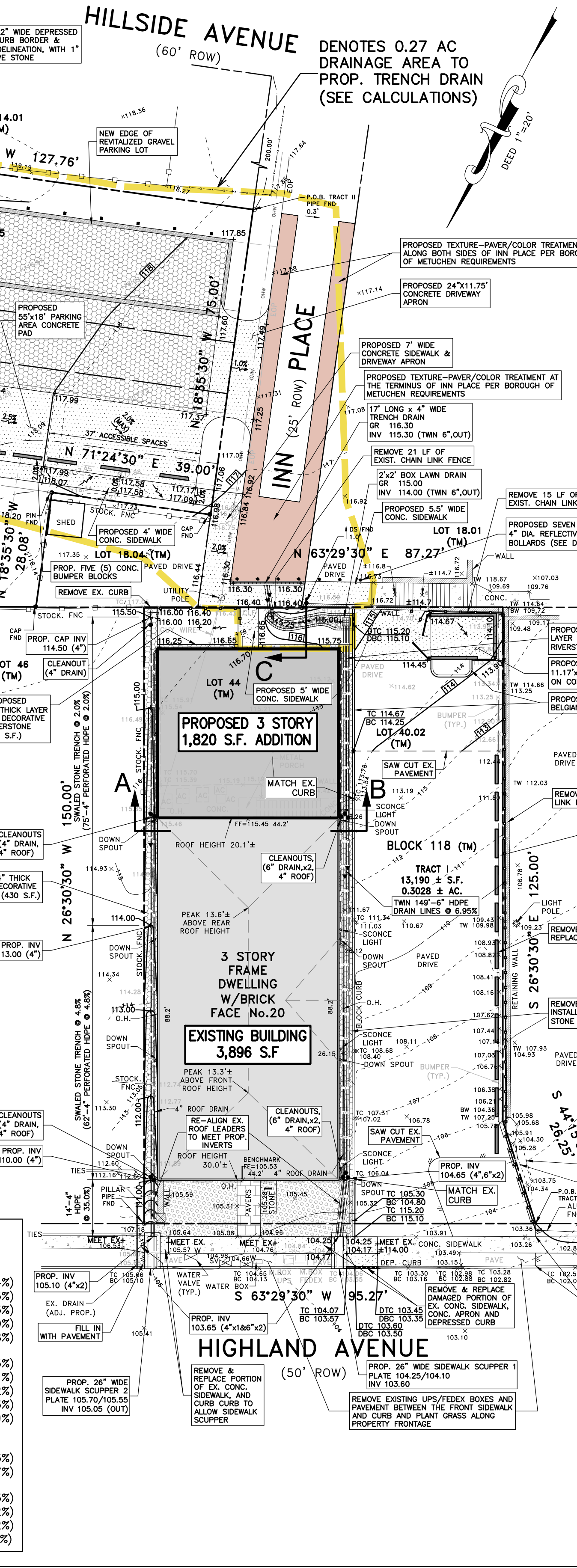
CAPACITY OF 6" PVC PIPE @ 1.25% = 0.82 CFS, TWIN PIPES = 1.64 CFS



**SWALED STONE TRENCH AND PERFORATED DRAIN SECTION 'A'**  
 N.T.S.

**COMPUTED LAND COVER BREAKDOWN**  
 TRACT I & II (25,803 SF)

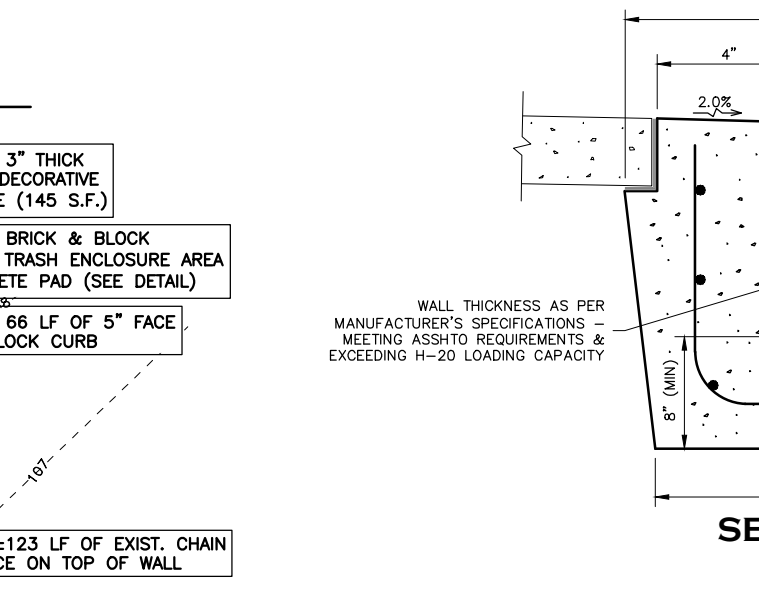
TRACT I (13,190 SF)	
EXIST. GRASS & LANDSCAPING AREA	= 504 SF (4%)
EXIST. LANDSCAPING STONE AREA	= 733 SF (5%)
EXIST. CONCRETE WALKWAYS, STAIRS, WALLS AREA	= 440 SF (3%)
EXIST. BUILDING AREA	= 3,896 SF (30%)
EXIST. PAVEMENT PARKING LOT AREA (VEHICLE TRAFFIC)	= 7,617 SF (58%)
PROP. GRASS & LANDSCAPING AREA	= 682 SF (5%)
PROP. LANDSCAPING/DRAINAGE STONE AREA	= 1,372 SF (11%)
PROP. WALKWAYS, STAIRS, WALLS, ETC. AREA	= 291 SF (2%)
PROP. BUILDING AREA	= 5,716 SF (43%)
PROP. PAVEMENT/CONCRETE PARKING LOT (VEHICLE TRAFFIC)	= 5,129 SF (39%)
TRACT II (12,613 SF)	
EXIST. GRASS & LANDSCAPING AREA	= 2,890 SF (23%)
EXIST. GRAVEL PARKING LOT (VEHICLE TRAFFIC)	= 9,723 SF (77%)
PROP. GRASS & LANDSCAPING AREA	= 4,079 SF (33%)
PROP. CONCRETE WALKWAYS AREA	= 279 SF (2%)
PROP. GRAVEL PARKING LOT (VEHICLE TRAFFIC)	= 6,592 SF (52%)
PROP. CONCRETE WITHIN PARKING LOT (VEHICLE TRAFFIC)	= 1,663 SF (13%)



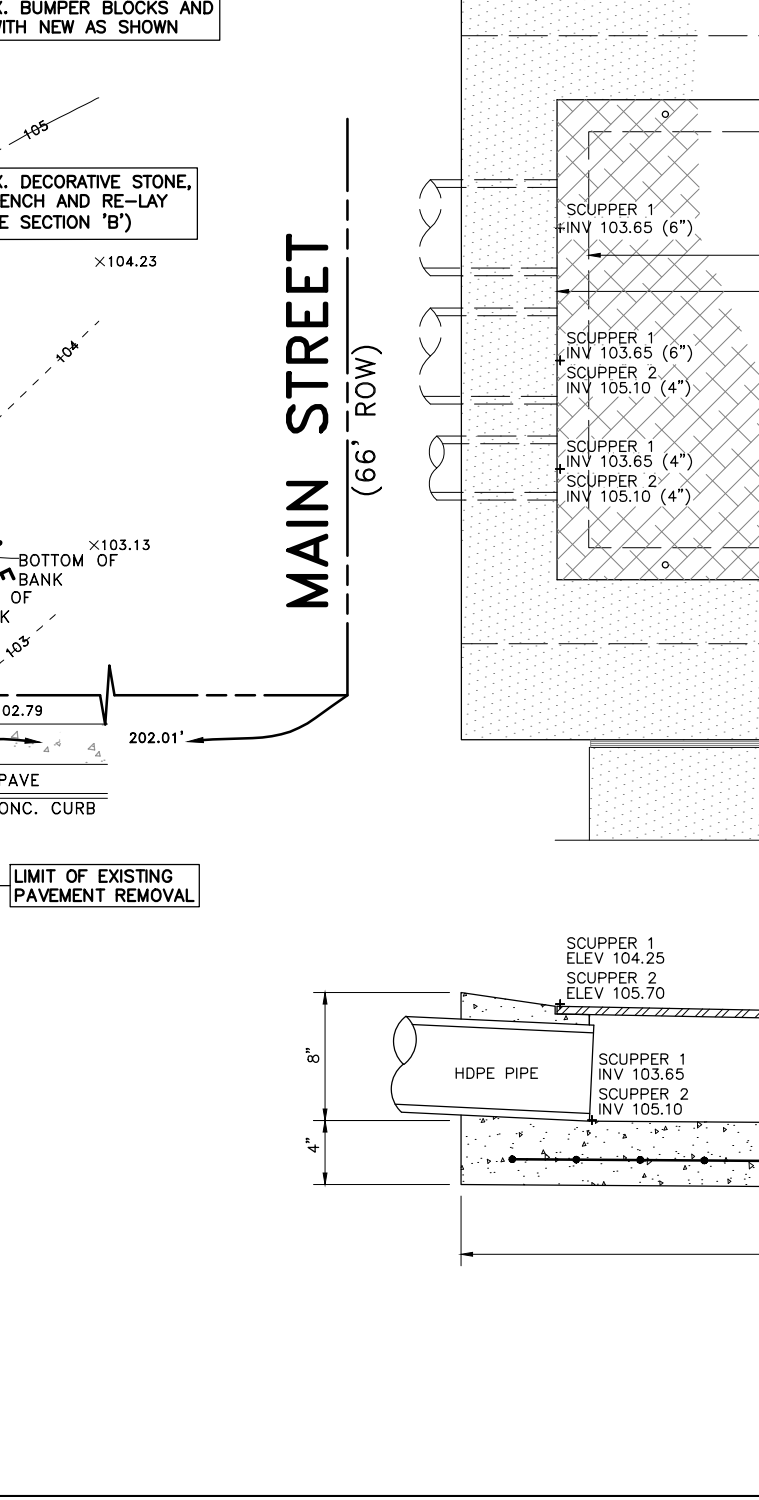
**SECTION "B-B" SECTION "A-A"**  
 N.T.S.

**DETAIL OF PROPOSED LAWN DRAIN**  
 N.T.S.

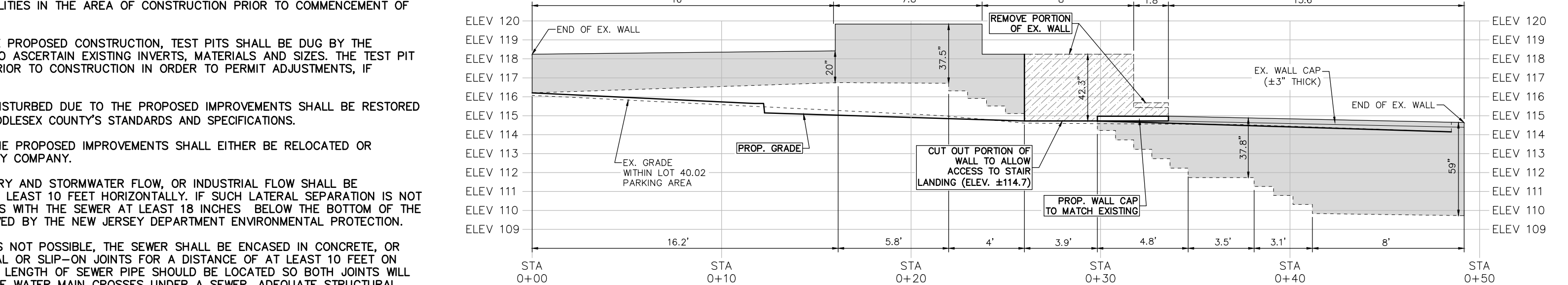
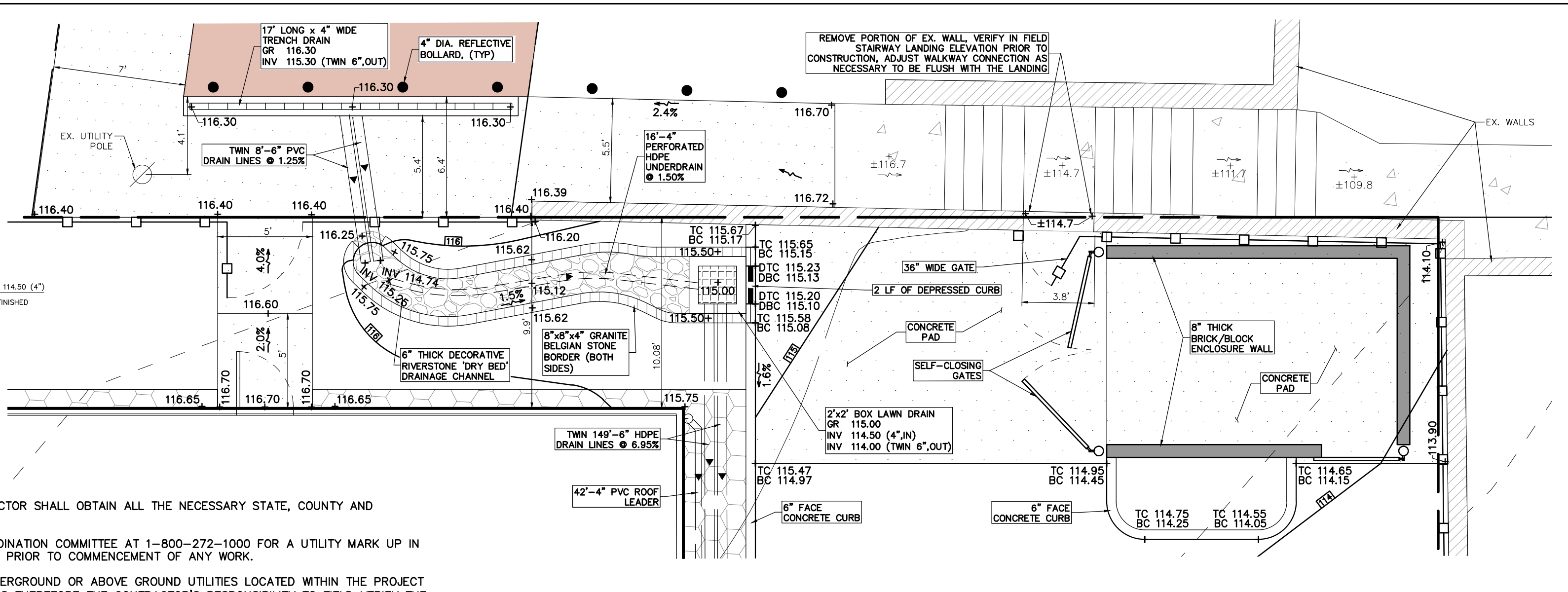
- CONSTRUCTION NOTES:**
- PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY STATE, COUNTY AND TOWNSHIP PERMITS.
  - THE CONTRACTOR SHALL CONTACT THE UTILITIES COORDINATION COMMITTEE AT 1-800-272-1000 FOR A UTILITY MARK UP IN THE AREA OF THE CONSTRUCTION AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.
  - THESE PLANS IN NO WAY SHOW ALL THE EXISTING UNDERGROUND OR ABOVE GROUND UTILITIES LOCATED WITHIN THE PROJECT SITE, HIGHLAND AVE. R.O.W. AND INN PLACE R.O.W. IT IS THEREFORE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXACT LOCATION AND DEPTH OF ALL THE EXISTING UTILITIES IN THE AREA OF CONSTRUCTION PRIOR TO COMMENCEMENT OF ANY WORK.
  - WHERE EXISTING UTILITIES ARE TO BE CROSSED BY THE PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION ACTIVITY TO ASCERTAIN EXISTING INVERTS, MATERIALS AND SIZES. THE TEST PIT INFORMATION SHALL BE PROVIDED TO THE ENGINEER PRIOR TO CONSTRUCTION IN ORDER TO PERMIT ADJUSTMENTS, IF REQUIRED.
  - ALL THE EXISTING CURBS, SIDEWALK AND DRIVEWAYS DISTURBED DUE TO THE PROPOSED IMPROVEMENTS SHALL BE RESTORED IN ACCORDANCE WITH THE CURRENT TOWNSHIP AND MIDDLESEX COUNTY'S STANDARDS AND SPECIFICATIONS.
  - ALL THE EXISTING POWER POLES WITHIN 10 FEET OF THE PROPOSED IMPROVEMENTS SHALL EITHER BE RELOCATED OR SUPPORTED PER THE RECOMMENDATIONS OF THE UTILITY COMPANY.
  - SEWERS CONVEYING SANITARY FLOW, COMBINED SANITARY AND STORMWATER FLOW, OR INDUSTRIAL FLOW SHALL BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE NEW JERSEY DEPARTMENT ENVIRONMENTAL PROTECTION.
  - WHERE APPROPRIATE SEPARATION FROM WATER MAIN IS NOT POSSIBLE, THE SEWER SHALL BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER SHALL BE PROVIDED. THE DEPARTMENT MAY REQUIRE ADDITIONAL STRUCTURAL SUPPORT FOR STORM SEWERS CROSSING OVER SEWER.
  - THE OUTBOUND SURVEY AND TOPOGRAPHIC INFORMATION AS SHOWN ON THIS PLAN HAS BEEN PROVIDED BY THE APPLICANT.
  - THE SURVEY INFORMATION AS SHOWN ON THESE PLANS IS SUBJECT TO SUCH FACTS AS AN ACCURATE TITLE SEARCH MAY DISCLOSE.
  - MAINTAIN EXISTING UTILITY CONNECTIONS WHERE POSSIBLE.



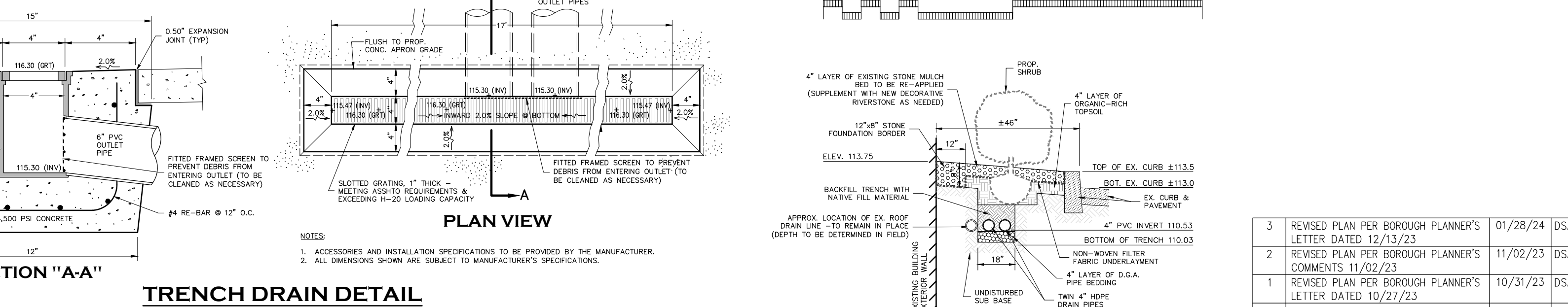
**SECTION "A-A" TRENCH DRAIN DETAIL**  
 N.T.S.



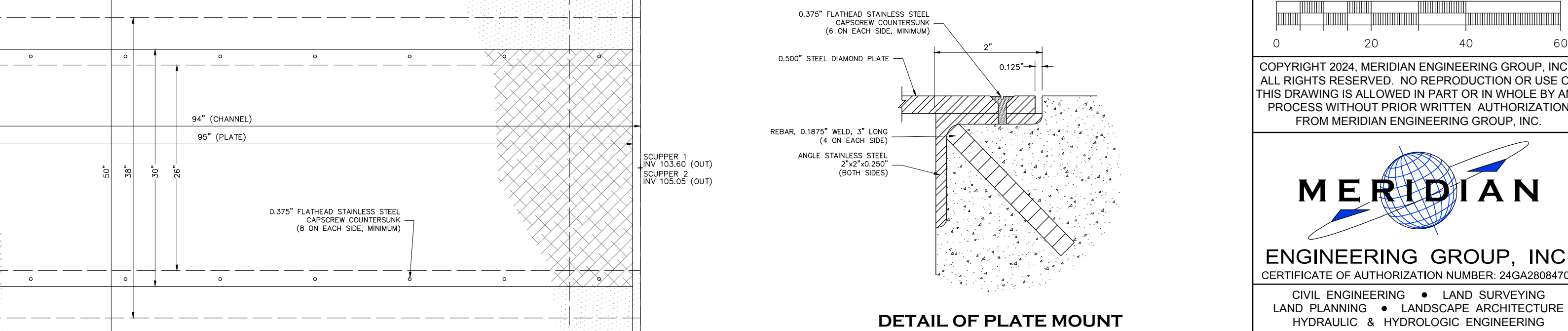
**SIDEWALK SCUPPER DETAIL**  
 SCALE: 1" = 1"



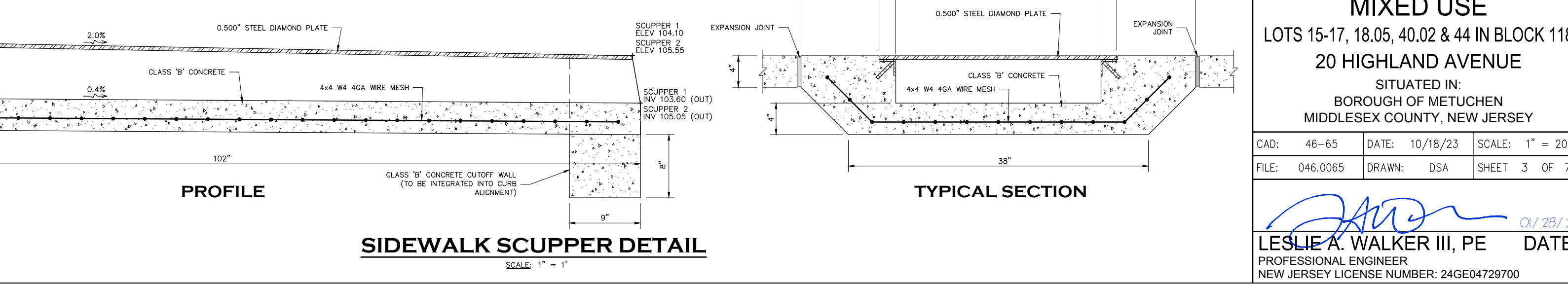
**DETAILED AREA AND PROFILE OF WALKWAY AT BACK OF LOT 40.02**  
 GRAPHIC SCALE 1" = 5'



**PLAN VIEW**  
 N.T.S.



**DETAIL OF PLATE MOUNT**  
 N.T.S.



**TYPICAL SECTION**  
 N.T.S.

3	REVISED PLAN PER BOROUGH PLANNER'S LETTER DATED 12/13/23	01/28/24	DSA
2	REVISED PLAN PER BOROUGH PLANNER'S COMMENTS 11/02/23	11/02/23	DSA
1	REVISED PLAN PER BOROUGH PLANNER'S LETTER DATED 10/27/23	10/31/23	DSA
REV.	DESCRIPTION	DATE	BY

**GRADING AND UTILITY PLAN & DETAILS**

GRAPHIC SCALE 1" = 20'

0	20	40	60
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**MERIDIAN ENGINEERING GROUP, INC.**  
 CERTIFICATE OF AUTHORIZATION NUMBER: 24GA28084700

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SITE PLAN PREPARED FOR:  
**MIXED USE**  
 LOTS 15-17, 18.05, 40.02 & 44 IN BLOCK 118  
 20 HIGHLAND AVENUE  
 SITUATED IN:  
 BOROUGH OF METUCHEN  
 MIDDLESEX COUNTY, NEW JERSEY

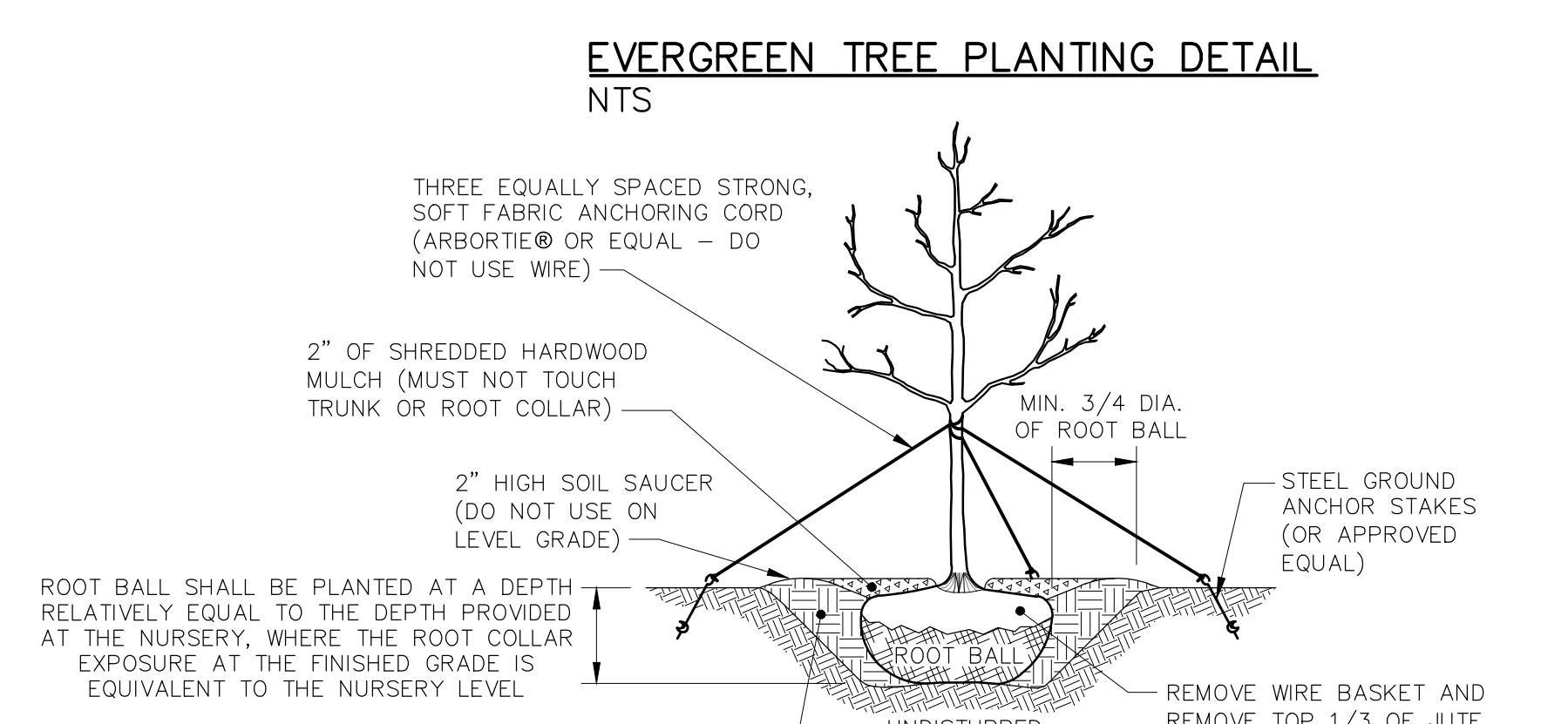
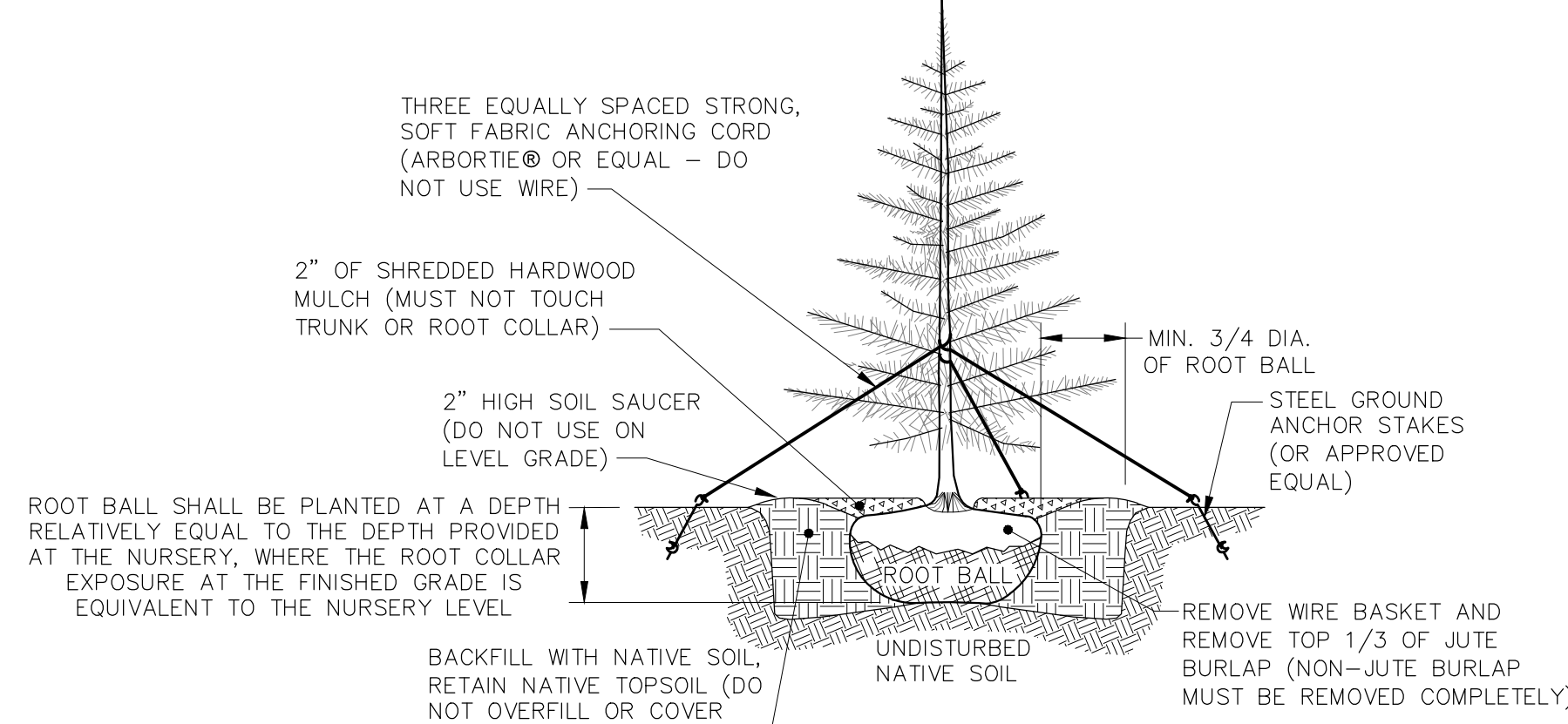
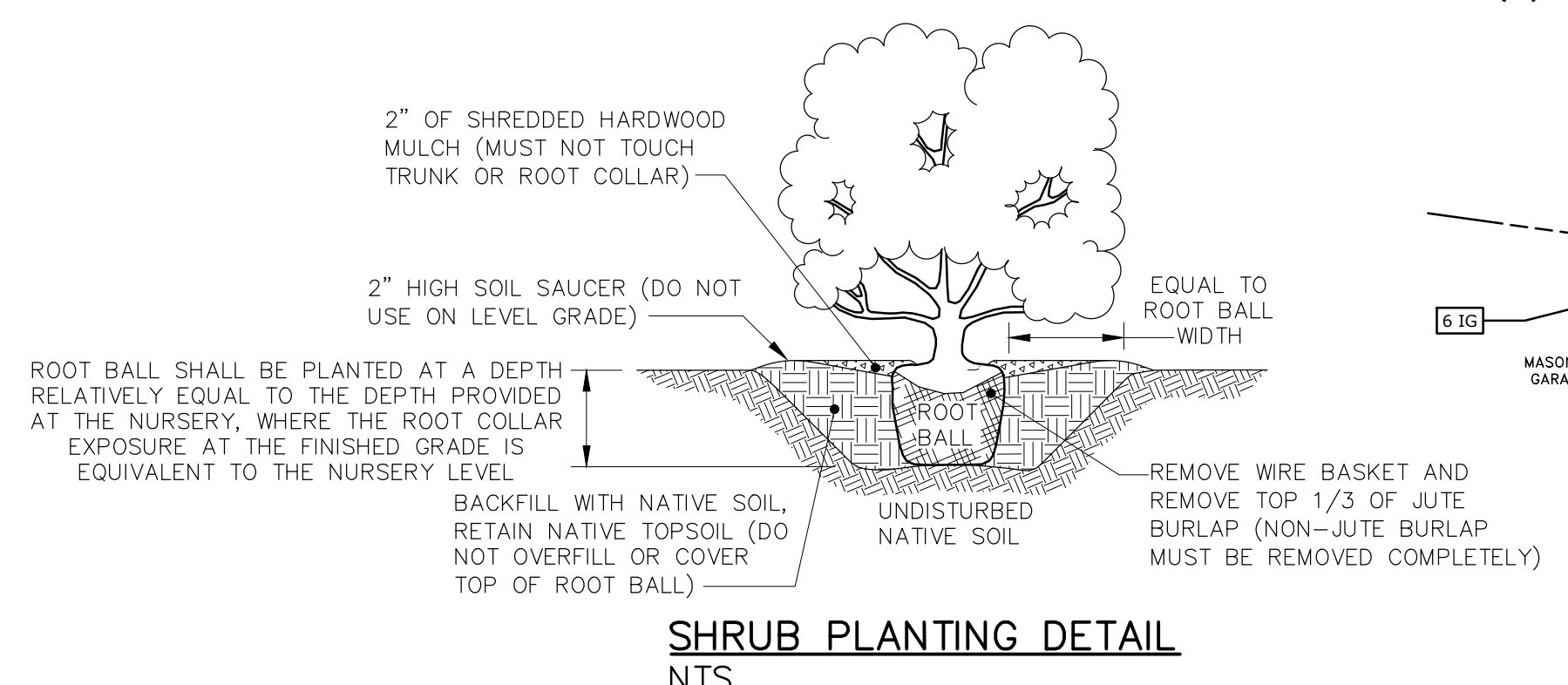
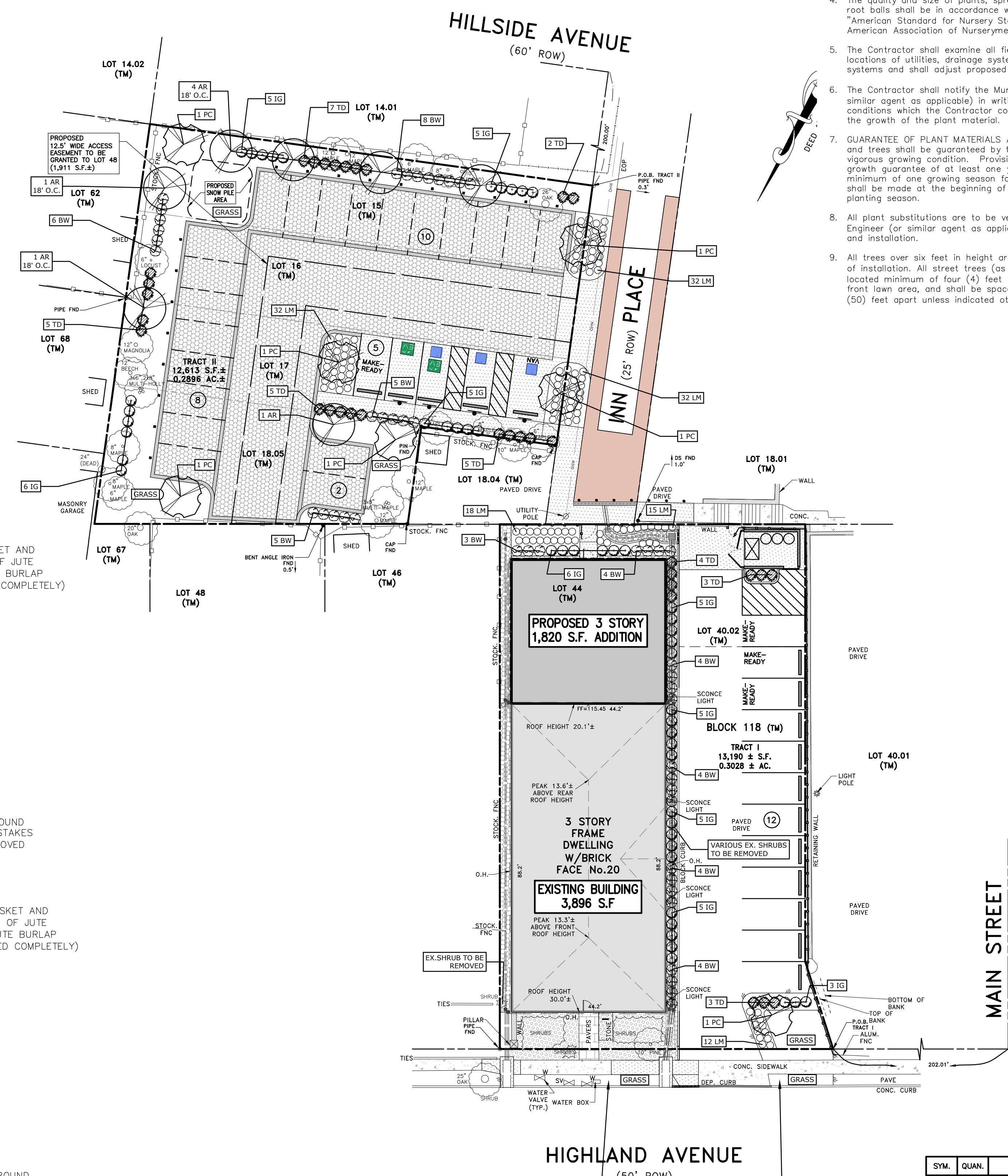
CAD: 46-65 DATE: 10/18/23 SCALE: 1" = 20'  
 FILE: 046.0065 DRAWN: DSA SHEET 3 OF 7

LESLIE A. WALKER III, PE DATE  
 PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE NUMBER: 24GE04729700

**PLANTING NOTES**

- All landscaping plant material are shown in a semi-mature size in this plan set. Sizes indicated in Plant List are sizes at time of installation.
- The staking layout of all retaining walls, walkways, patio and deck surfaces, irrigation lines, and plantings (where applicable) shall be inspected by the Municipal Engineer (or similar agent as applicable) prior to installation. It is the contractor's responsibility to notify the Municipal Engineer (or similar agent as applicable) as to when the work shall begin.
- Plant locations shown on this plan are diagrammatic. The final locations of all plant materials shall be determined and approved by the Municipal Engineer (or similar agent as applicable).
- The quality and size of plants, spread of roots and size of root balls shall be in accordance with ANSI Z601-1985, "American Standard for Nursery Stock" as published by the American Association of Nurserymen.
- The Contractor shall examine all field conditions for exact locations of utilities, drainage systems and irrigation systems and shall adjust proposed plantings accordingly.
- The Contractor shall notify the Municipal Engineer (or similar agent as applicable) in writing of all soil or drainage conditions which the Contractor considers detrimental to the growth of the plant material.
- GUARANTEE OF PLANT MATERIALS AND GROWTH** : All plants and trees shall be guaranteed by the Contractor to be in vigorous growing condition. Provision shall be made for a growth guarantee of at least one year for trees, and a minimum of one growing season for shrubs. Replacements shall be made at the beginning of the first succeeding planting season.
- All plant substitutions are to be verified with the Municipal Engineer (or similar agent as applicable) prior to purchase and installation.
- All trees over six feet in height are to be staked at time of installation. All street trees (as applicable) shall be located minimum of four (4) feet from the sidewalk in the front lawn area, and shall be spaced an average of fifty (50) feet apart unless indicated otherwise in this plan set.
- All landscape areas, either newly created or in existing areas that require repair shall be provided with a 4" thick minimum topsoil layer if none less than 4" are present and shall be temporarily seeding during construction at the rates and applications as specified in the "Temporary Stabilization Specs" notation of the Soil Erosion and Sediment Control Details within this plan set. If lawns are to be provided, seed at the rates and applications as specified in the "Permanent Stabilization Specs" notation of the Soil Erosion and Sediment Control Details within this plan set.
- All side slopes and bottoms of intermittent water-containing structures (such as grassed waterways or detention basins, if applicable) shall be provided with 6" thick minimum topsoil layers and shall be seeding at the rates and applications as specified in the "Intermittent Waterways - Permanent Seeding Specs" notation of the Soil Erosion and Sediment Control Details within this plan set.
- The Contractor shall lime, fertilize and mulch all landscape areas at the rate specified by the Soil Erosion and Sediment Control Permanent Stabilization notes within this plan set.
- It is the Contractor's responsibility to determine soil acidity levels of the underlying soils of the new lawn areas. A PH level of 4 or less will require a new 12" minimum layer of soil with a PH of 5 or greater before the topsoil is applied. The acidic underlying soil shall either be ameliorated by scarifying 12" of the soil and adding limestone until the soil is no longer acidic or a new layer will be applied on top, which ever is most applicable.
- No soil shall be placed atop the planting rootball and the root collar must be exposed. Wire baskets and the top 1/3 of jute burlap are to be removed prior to backfilling the planting pit. Any material other than jute burlap must be removed completely. The sub-soil should not be disturbed directly under the root ball platform.
- The Contractor shall fertilize all landscaping plant material with 5-10-5 fertilizer, or approved equal, at the rate specified by the manufacturer.
- All tree pits, plant beds and ground cover areas shall be mulched to a 3-inch depth (after settlement) with shredded hardwood mulch. Shredded hardwood mulch with maximum of one (1) inch of mulch shall be placed within twelve (12) inches of tree trunks. The mulch should not come in contact with the trunk or the root collar. The mulch shall have no leaves, weeds, branches, shavings, twigs over 1/2" diameter, or foreign material such as stones, etc.
- All water applied to planted or lawn areas shall be free from impurities harmful to vegetation and applied at a rate of five gallons of water per square yard of plant pit. All watering is the responsibility of the applicant.
- Backfill material for raised plant beds shall consist of natural loam topsoil, free from subsoil, and shall be obtained from an area which has never been stripped. Topsoil shall have been removed from a depth of no more than 1 foot, or less if subsoil is encountered. Topsoil shall be of uniform quality, free from hard clods, stiff clay hard pan, sods, partially disintegrated stone, lime cement, tar residues, chips or any other undesirable material.
- All proposed trees (as applicable) should be provided with anchoring and stakes. Anchoring must be cord made of strong, soft fabric material (NO WIRE). All anchoring and stakes must be removed after one (1) year.
- Areas disturbed by landscape operations shall be graded to match existing. Topsoil and seed as required.
- Provide Tree protection fencing as specified in the Soil Erosion and Sediment Control Details within this plan set.
- Plant material shown in a mass or touching each other shall be allowed to grow together to perform as a screen or hedge. DO NOT PRUNE OR SHEAR INTO INDIVIDUAL FREE-STANDING PLANTS OR TREES!!!
- FALL HAZARD NOTES**: All plant materials that are known or suspected to have a Fall Planting Hazard shall be dug, transplanted and installed during the Spring Planting season only! The following plant species are known to have a Fall Planting Hazard:
 

Acer rubrum & vars.	Platanus acerifolia
Betula varieties	Prunus - all stone fruits
Corpus varieties	Pyrus - all pears
Cornus varieties	Quercus - all oaks
Crotaegus varieties	Salix - weeping varieties
Koeleruteria	Styrax japonica
Liquidambar styraciflua	Tilia tomentosa
Liriodendron tulipifera	Zelkova varieties
Magnolia varieties	
- This drawing is to be used for Landscaping development purposes only.
- All landscaping procedures and applications as indicated in this plan set shall be performed in strict compliance with the Standards for Soil Erosion and Sediment Control in New Jersey.



**HIGHLAND AVENUE (50' ROW)**

NO PROPOSED STREET TREES SHALL BE PROVIDED AND APPLICANT SHALL CONTRIBUTE TO THE BOROUGH SHADE TREE COMMISSION IN LIEU OF PLANTING

**PLANT LIST**

SYM.	QUAN.	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	REMARKS	MATURE SIZE
<b>SHADE TREES</b>						
AR	7	Acer rubrum 'JFS-KW78'	Armstrong Gold Maple Tree	2.5' Cal.	B&B	40' Tall X 12' Wide
PC	7	Pyrus Calleryana 'Capital'	Capital Pear Tree	2.5' Cal.	B&B	25-35' Tall X 8-12' Wide
<b>EVERGREEN TREE</b>						
TC	100	Thuja occidentalis 'Emerald Green'	Emerald Green Arborvitae	6' Tall	B&B	10-15' Tall X 3-4' Wide
<b>SHRUBS</b>						
BW	51	Buxus microphylla japonica 'Winter Gem'	Winter Gem Boxwood	24" High	B&B	5' Tall X 3-4' Wide
IG	55	Ilex glabra 'Compacta'	Compact Inkberry	36" High	B&B	4' Tall X 4' Wide
LM	141	Liriodendron muscari	Big Blue Lilyturf	12" High	#1 Cont.	18-24" Tall X 18-24" Wide
TD	35	Taxus cuspidata 'Densiformis'	Dense Japanese Yew	36" High	B&B	3-4' Tall X 4-6' Wide

LANDSCAPING NOTE: ARBORVITAE MAY BE SUBSTITUTED AT A 3:1 RATIO FOR PROPOSED TREES TO ENHANCE VISUAL SCREENING AROUND THE BACK PARKING AREA, AT THE DIRECTION OF THE BOARD PLANNER DURING CONSTRUCTION

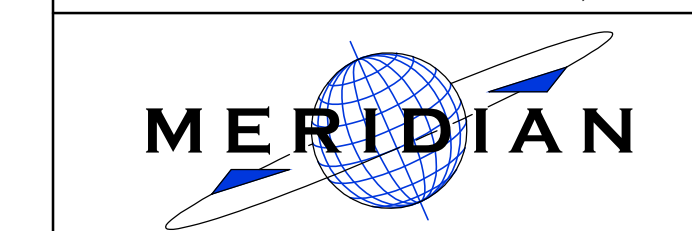
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**LANDSCAPING PLAN & DETAILS**

GRAPHIC SCALE 1" = 20'



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SITUATED IN:  
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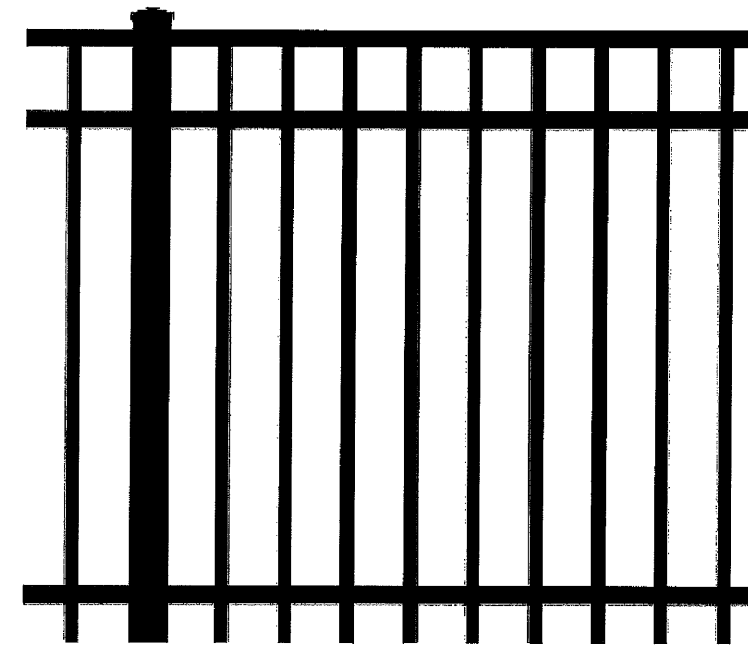
CAD: 46-65 DATE: 10/18/23 SCALE: 1" = 20'  
FILE: 046.0065 DRAWN: DSA SHEET 4 OF 7

LESLIE A. WALKER III, PE DATE  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NUMBER: 24GE04729700



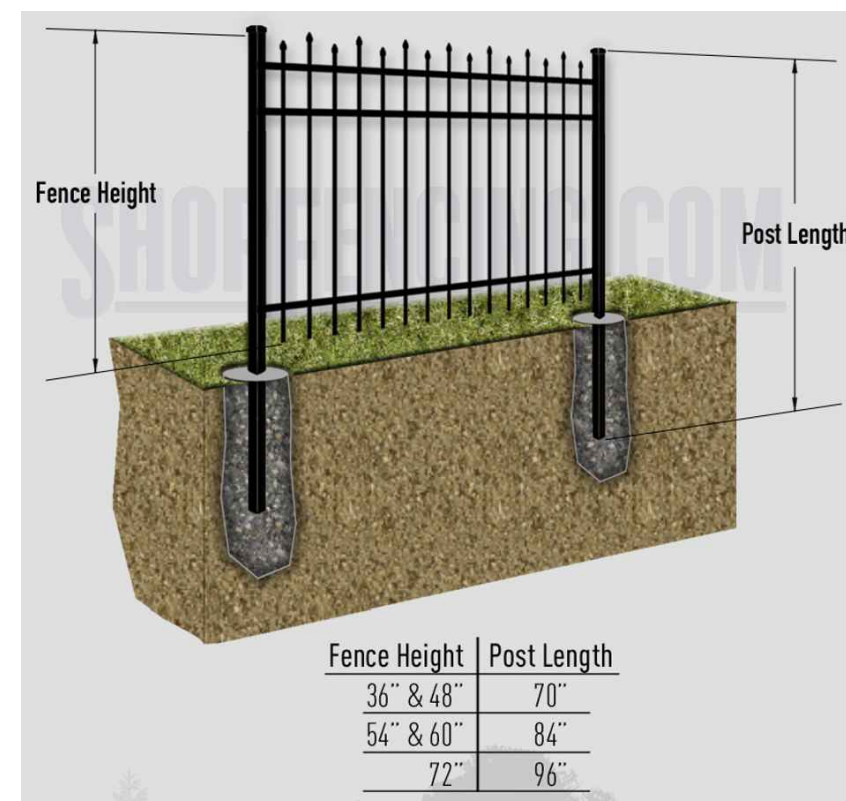
**ORNAMENTAL ALUMINUM FENCING**

**The Opal**



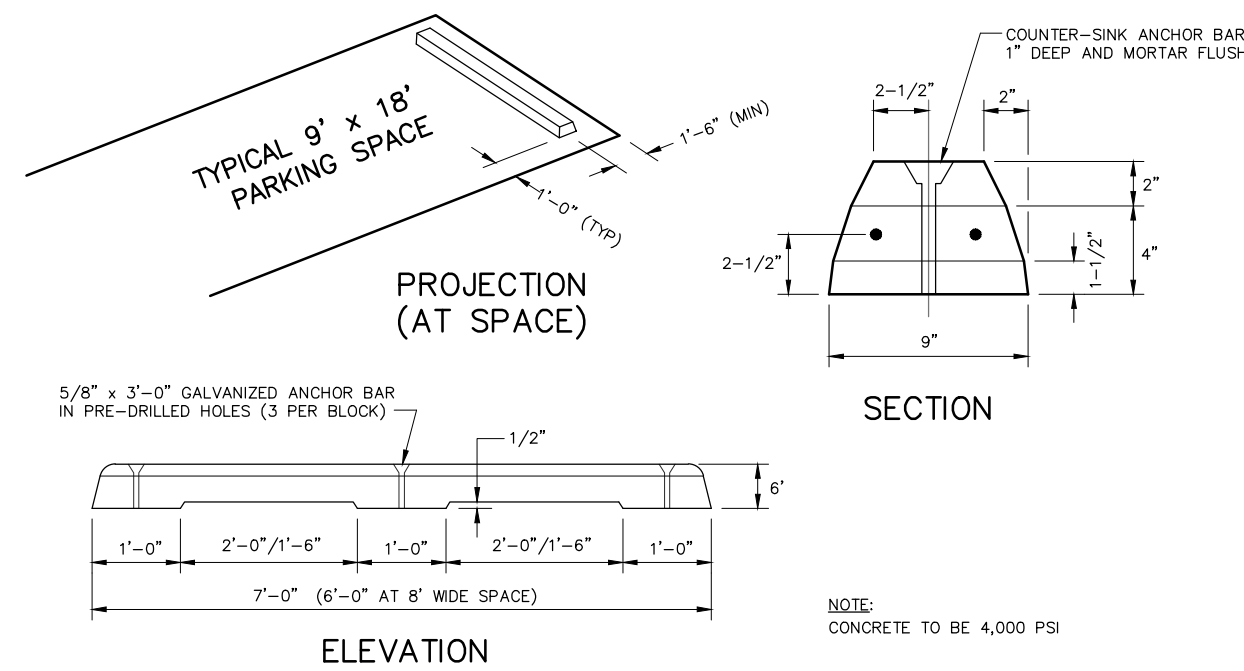
**Commercial Components**

Pickets	3/4" sq. x .062 wall
Horizontal Rails	1 1/4" x 1 5/8"
Side Walls	.100 wall
Top Walls	.070 wall
Standard Posts	2 1/2" sq. x .075 wall
Gate Posts	4" sq. x .125 wall
Spacing Between Pickets	4"
Standard Spacing	1 1/2"
Tighter Spacing	
Maximum Post Spacing	72", 96" on center
Height	60"
Standard Color	Black

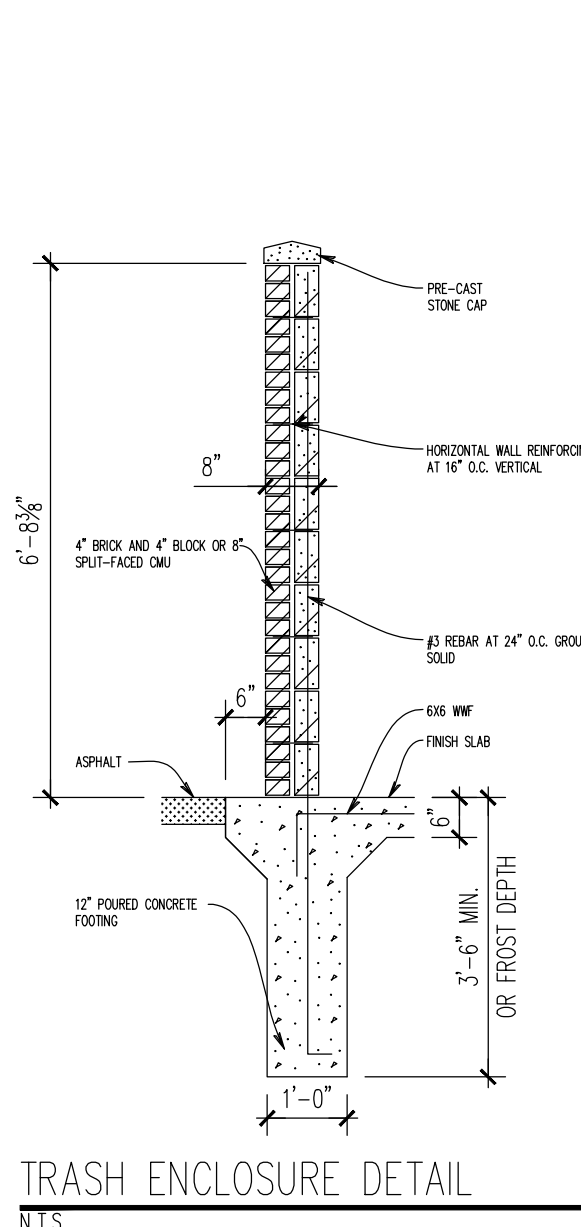


Fence Height	Post Length
36" & 48"	70"
54" & 60"	84"
72"	96"

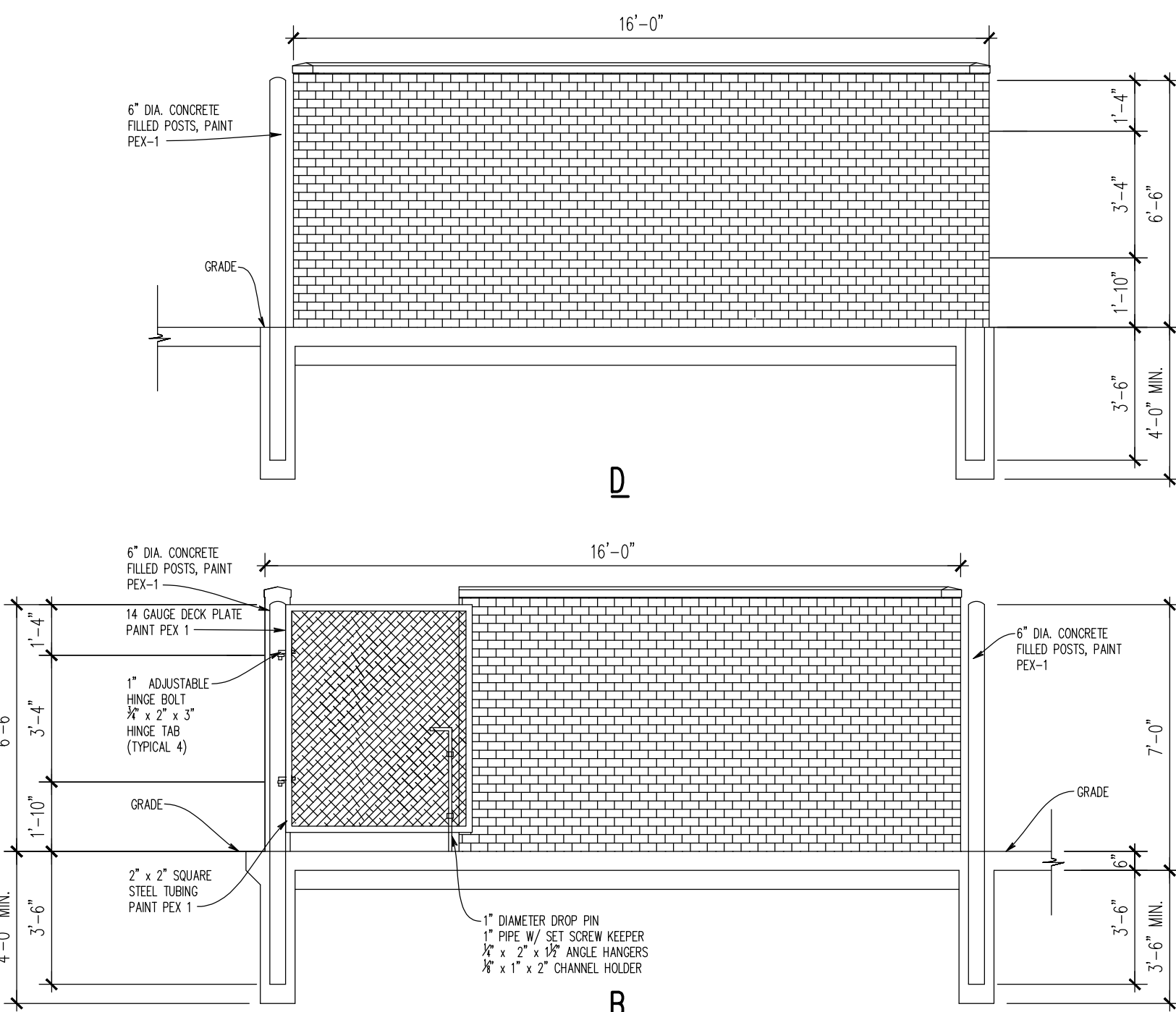
**PROPOSED 60" HIGH DECORATIVE METAL FENCE ADJACENT TO EXISTING WALL**



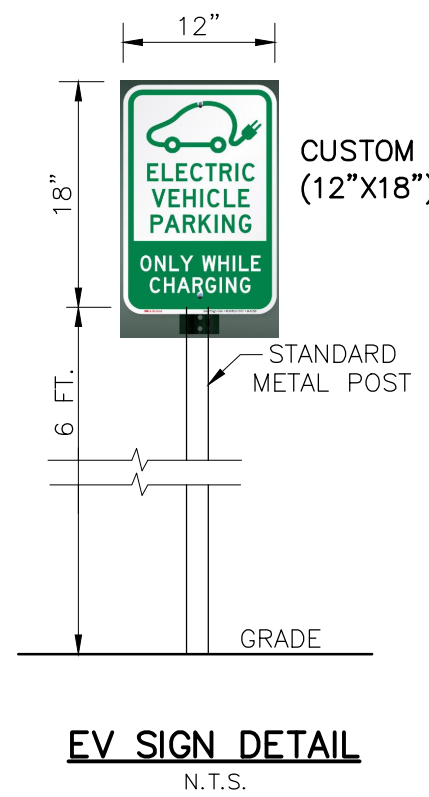
**PRECAST CONCRETE BUMPER BLOCK DETAIL**



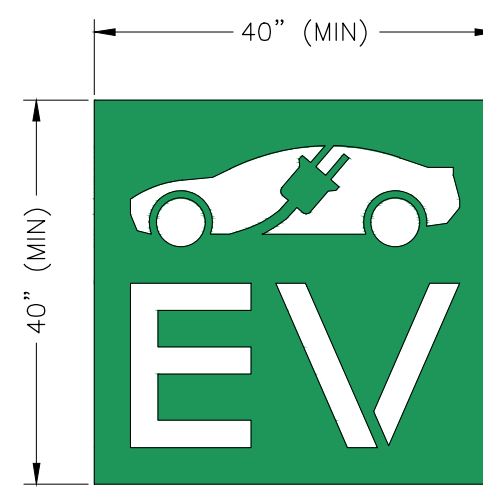
**TRASH ENCLOSURE DETAIL**



**TRASH ENCLOSURE ELEVATIONS**



**EV SIGN DETAIL**

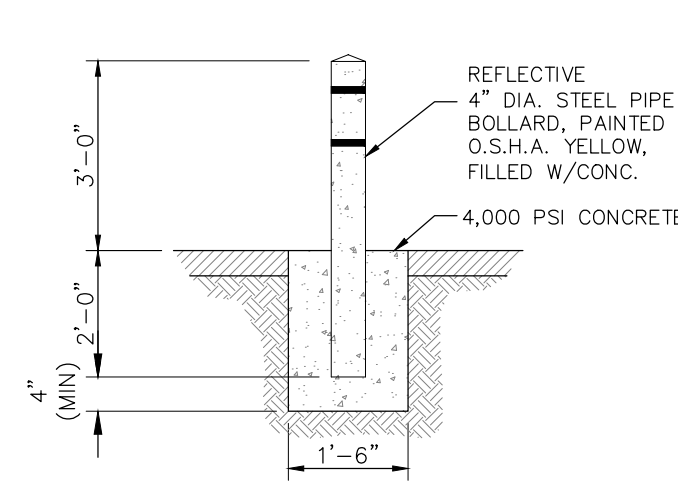


**EV PAVEMENT PARKING**

NOTE: DIMENSIONS AND DESIGN MAY VARY, DEPENDANT ON TEMPLATE SUPPLIER. PAINT OF PARKING SPACE(S) AND TEMPLATE MUST BE GREEN ACRYLIC TRAFFIC MARKING PAINT.

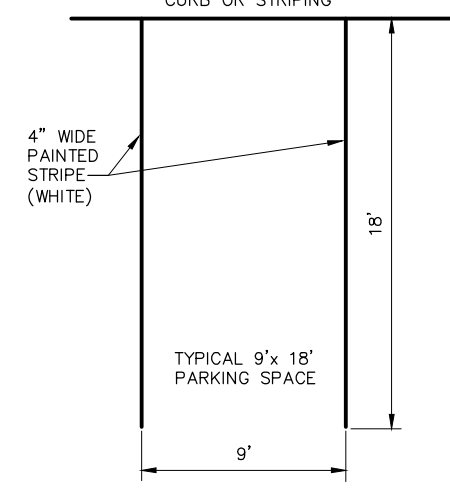
**DETAIL OF CONCRETE BOLLARD**

N.T.S.



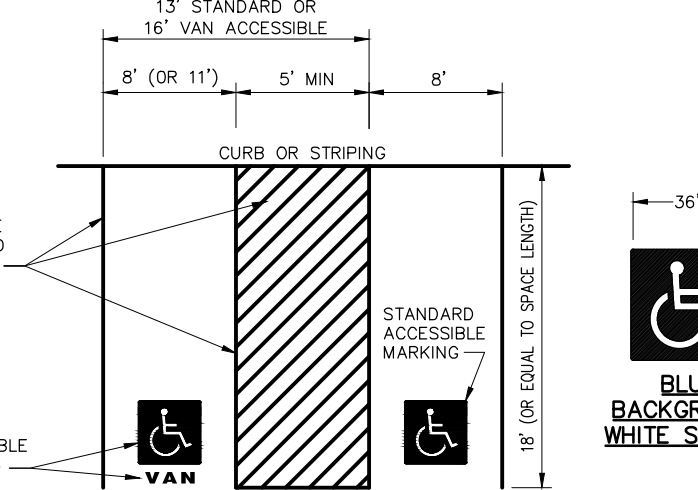
**TYPICAL PARKING STALL STRIPING DETAIL**

N.T.S.



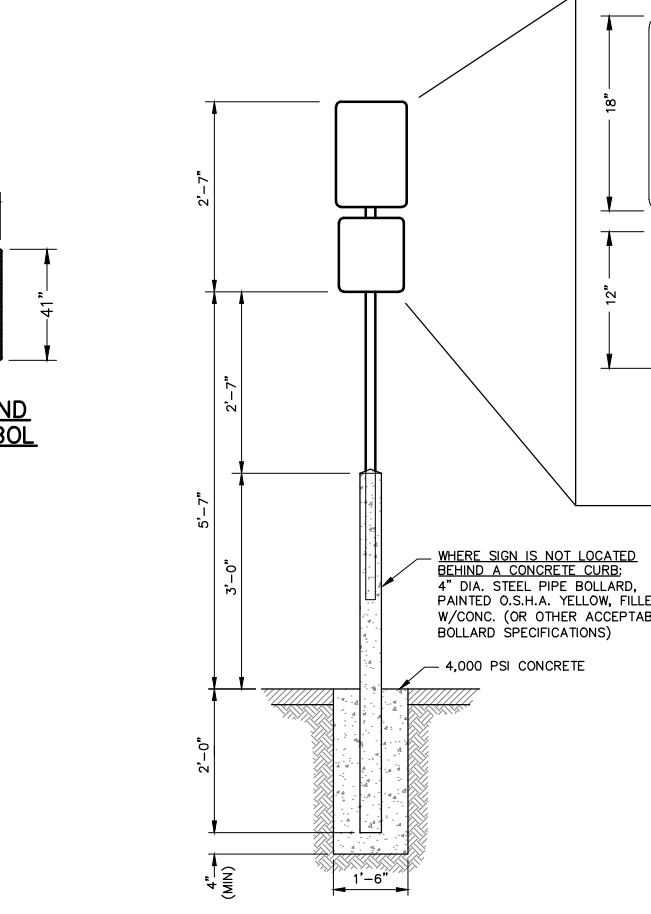
**TYPICAL ACCESSIBLE PARKING SPACE STRIPING DETAIL**

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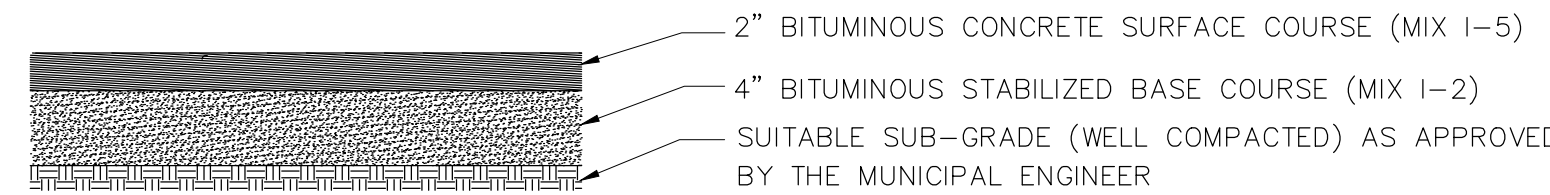
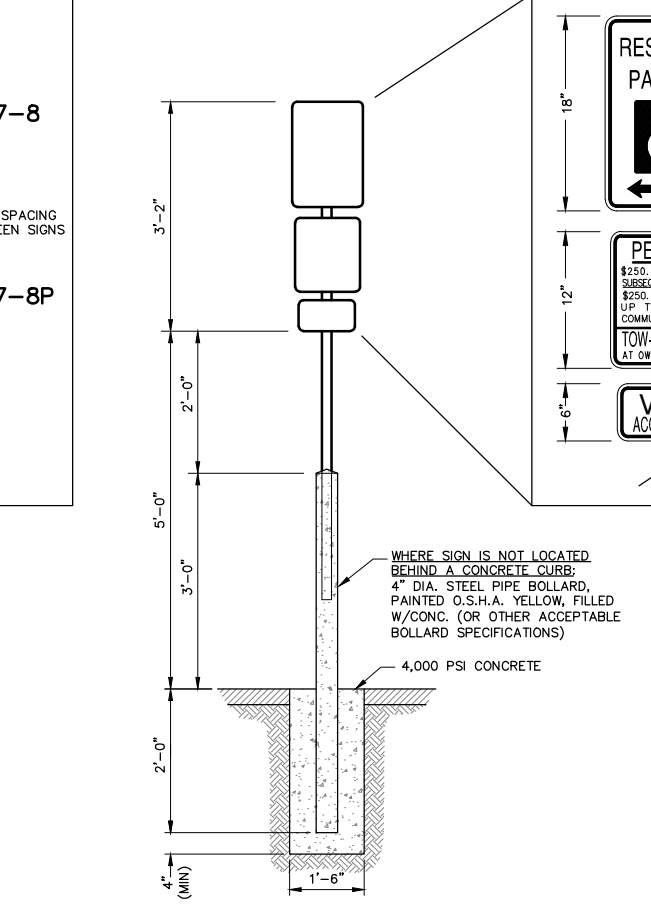
**DETAIL OF CONCRETE BOLLARD STANDARD ACCESSIBLE SIGN POST**

N.T.S.



**DETAIL OF CONCRETE BOLLARD VAN ACCESSIBLE SIGN POST**

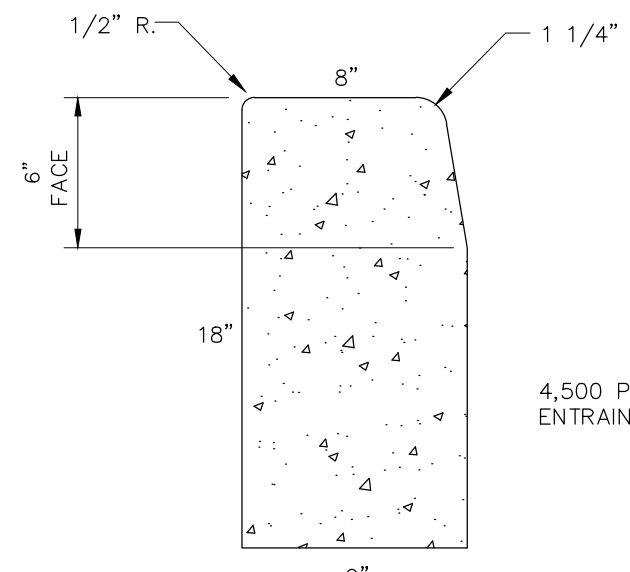
N.T.S.



**TYPICAL PARKING AREA PAVEMENT DETAIL**

NOT TO SCALE

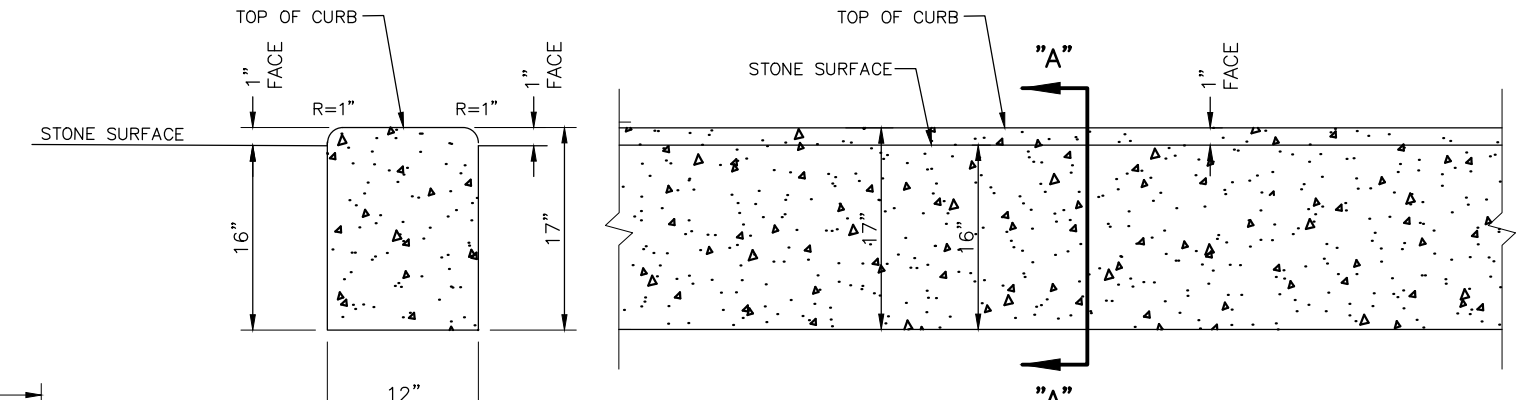
NOTE: REPLACEMENT OF EXISTING SURFACES OTHER THAN CONCRETE OR BITUMINOUS PAVEMENT WILL BE AS DIRECTED BY THE MUNICIPAL ENGINEER.



**TYPICAL 9" x 18" CURB DETAIL**

N.T.S.

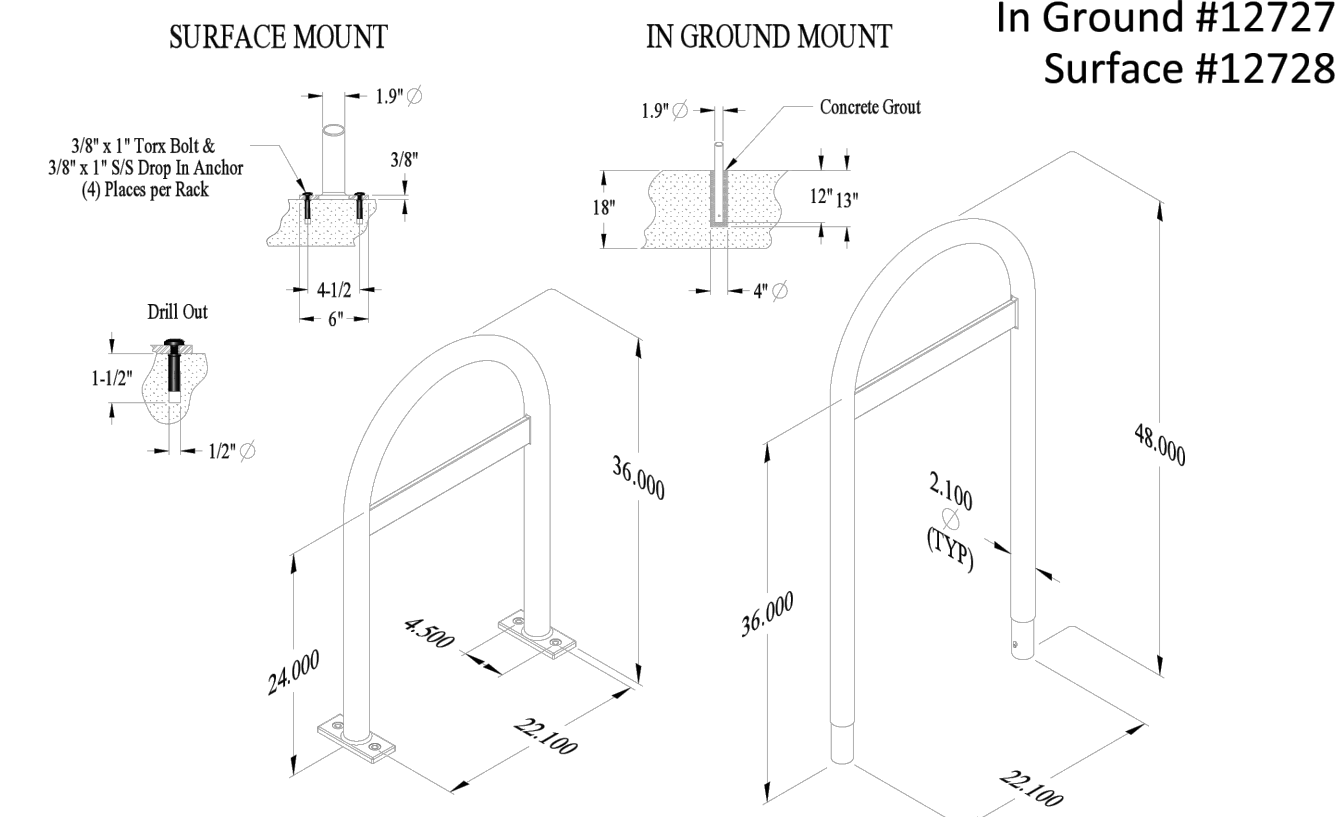
(AT HIGHLAND AVENUE ONLY)



**SECTION "A-A"**

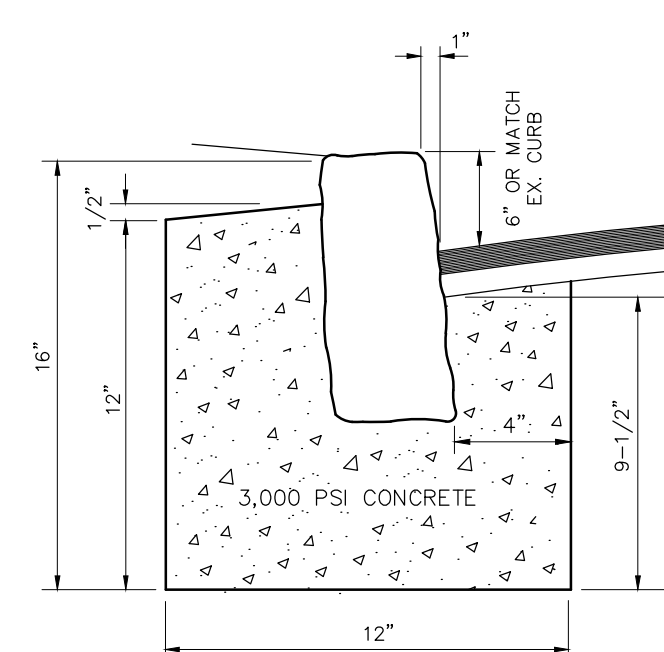
**12" WIDE DEPRESSED CONCRETE CURB BORDER & DRIVE ISLE DELINEATION DETAIL**

N.T.S.



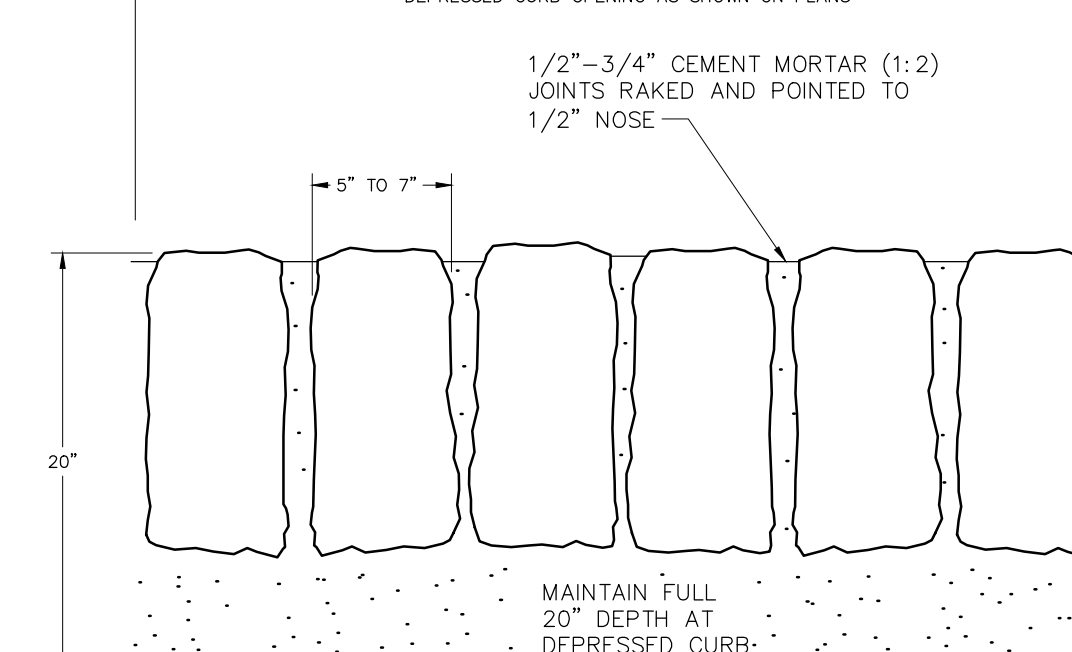
**Plastisol (Braced) Racks**

Surface Mount / In Ground Mount {Dims}



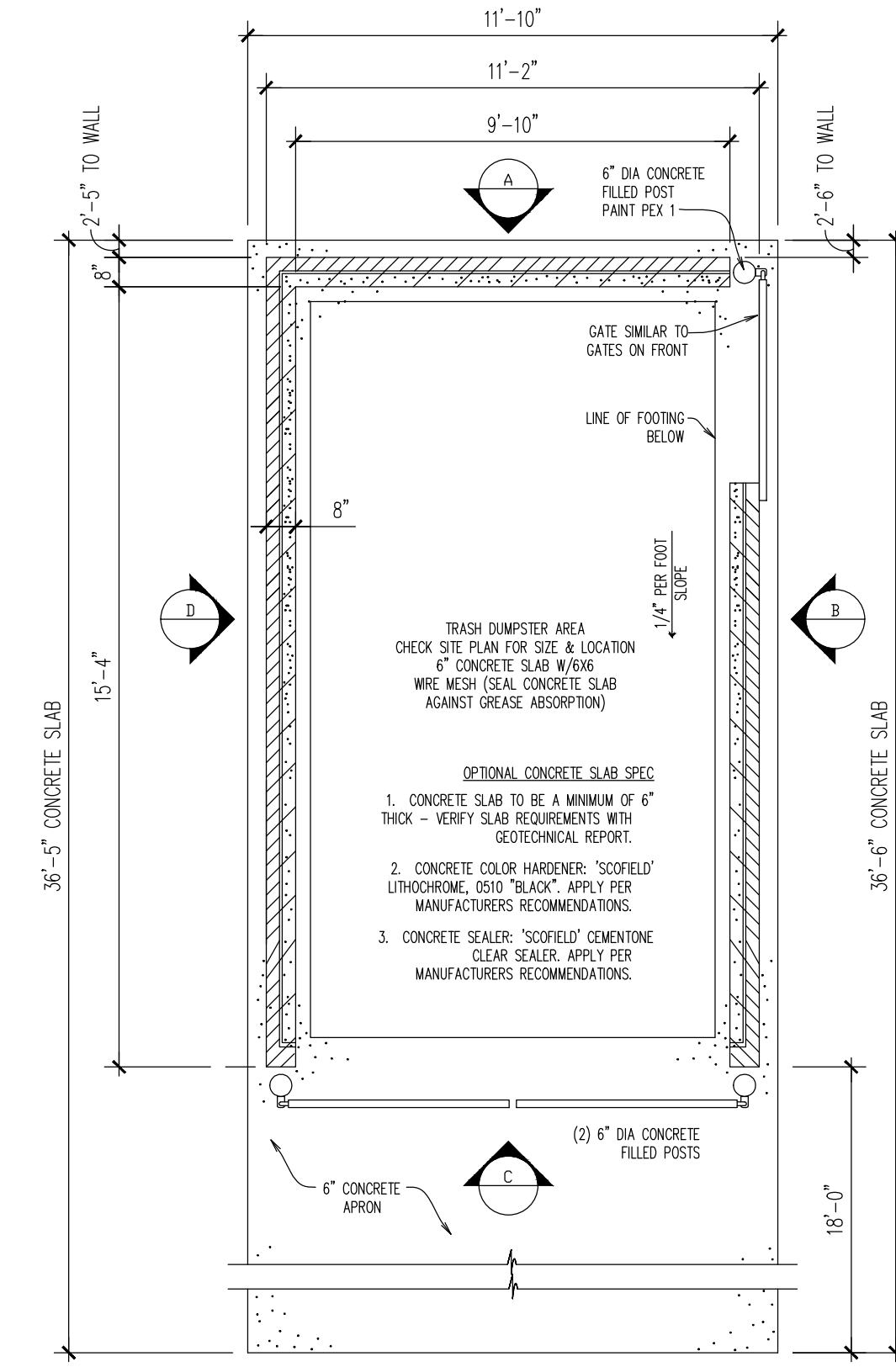
**BELGIAN BLOCK CURB DETAIL**

NOT TO SCALE



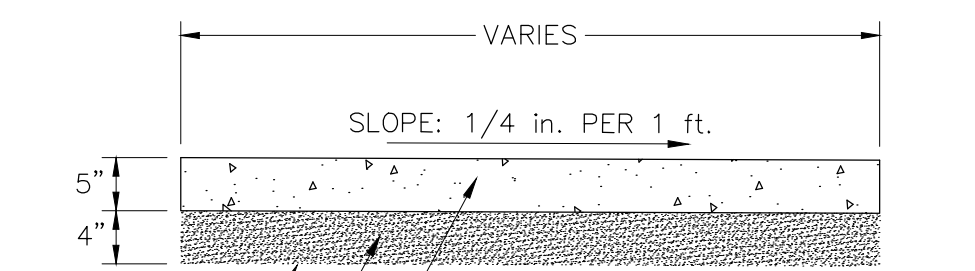
**BELGIAN BLOCK DEPRESSED CURB DETAIL**

NOT TO SCALE



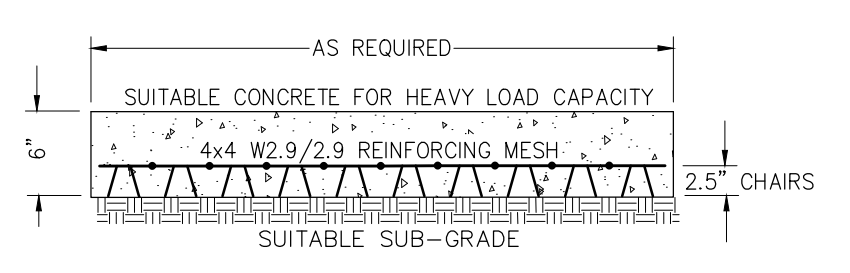
**TRASH ENCLOSURE PLAN**

N.T.S.



**TYPICAL SIDEWALK DETAIL**

N.T.S.



**TYPICAL SECTION OF PROPOSED 6" THICK CONCRETE PAD**

N.T.S.

(AT TRASH ENCLOSURE AREA, PARKING AREA AND DRIVEWAY APRON)

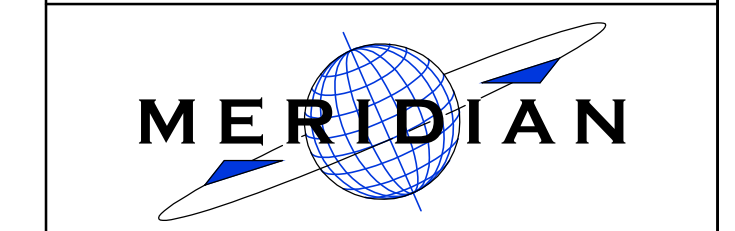
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**CONSTRUCTION DETAILS**

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