

## **BOROUGH OF METUCHEN**

MIDDLESEX COUNTY

Tel. (732) 632-8540 • Fax (732) 632-8100 • 500 Main Street • Metuchen, N.J. 08840

### **APPLICATION FOR DEVELOPMENT**

1. Application						
A. Location						
Street Address	410 Main Street	in was the elementarious of a constitution of the displace statement in	el againment a angus ensa en anamanan elle angus en Belgigga superillus elle superillus elle superillus elle s	ill seferce and region of 185000 100 000 000 000 000 000 000 000 000		
Block	121	Lot 9	)	Zone	B-1	
Situated on	East	side of	Main S	Street		
distant	129.09'	feet from	Hillside	Avenue		
B. The Site is Locate	<u>od:</u>					11000
☐ Within 200' of Edi	son Township	Adjacent to C	ounty Road	□ Ac	jacent to State Highway	
C. Status:						
☐ New	☑ Revision or Resubr	nission of Prio	r Application	No. 1	9-1234	_
D. Type (Check all that A	ADDIV):					
☐ Concept	□ Preliminary	,	☑ Final		☐ Conditional Use Approval	
☐ Minor Site Plan	Major Site	Plan	☐ Minor S	ubdivision	☐ Major Subdivision	
☐ (a) – Appeal	☐ (b) – Interp	retation	☐ (c) – Va	riance (Bulk)	(d) - Variance (Use)	
☑ Request for Waive	er of Submission Requ	irements	Other	Any other r	elief needed to grant ap	plication
	r <b>Variance Request</b> (L				oment Agreement. No varian	nces request
Waiver of submissio	rrequirements from Sessary by the Board o	Section 110.	In addition,	any and all other	er variances, exceptions and	⊷waivers as 
	- Parkel Parkel Black Berger (1994) (		er New 1954 for his thing to be have been been been been as the second of the second o			ranty.
None known to cu	ion of any previous B	oard Hearing	<u>is involving</u>	this Site		
TAGIC KITOWIT TO CC	aront owner.	to the second				-
C Dist Submission	ist maps and other exhibits	mannamanina H	in annination)	is a supervised to the supervised supervised of the $(1,2,2,3)$ and $(2,2,3)$	The angular control of the second of the sec	de u

## 2. Applicant Information

A. Applicant					
First Name	Phoenix 410 Main Street, L.L.C.			Phone	(732) 603-9100
Last Name					
Street Address	402 Main Stree	et, Suite 2	04	Fax	(732) 321-9168
City / State	Metuchen, NJ	Zip	08840	Email	eberger@usrealestateacq.com
B. Applicant is a	/an:				
☐ Individual	☑ Partnership	☐ Corpora	ation		Other
C. Applicant's Re	elationship to Owner:	1			
☑ Owner	☐ Lessee	☐ Purchas	ser Under C	ontract	Other
D. Owner (if other t	han Applicant; requires Own	er's Consent or	Page 6)		The second secon
First Name		ude essentialentement promoteriskelijkelijkelijd al l. Djekemplike nevesse e noveme	and summanananananananananananananananananana	Phone	-
Last Name		and the state of t	likkennekalaran mengenggip gjilajih galapa galapa sa gagana sa	Phone	
Street Address	property SALAAD (AA) as an annanasaya da annanasaya da annanasaya da annanasaya an annanasay an annanasay an a		1000000 Company (5-40)	Fax	
City / State	et carrière surfacilité ensurés protection des sentiers manuelle régistre (qui entretté communitée de la confession de la con	Zip	* 30 M of the last and bloken appearance	Email	THE PROPERTY PROPERTY AND ADMINISTRATION OF THE PROPERTY OF TH
3. Applicant's	Experts				
A. Attorney (Requir	red if Applicant is a Corporat	lon; must be a I	icensed in the	State of New Je	ersey)
Name	Eric H. Berger,	Eric H. Berger, Esquire		Phone	(732) 321-5155
Street Address	402 Main Stree	t, Suite 20	)4	Fax	(732) 321-9168
City / State	Metuchen, NJ	qis Zip	08840	Email	eberger@usrealestateacq.com
B. Engineer					
Name	manifes were stored and the state of the sta	an <b>karas</b> ayan gandanin hayan ya rasaan ahayan aha		Phone	
Street Address	the first and approximate the second representation of the first first first from the accordance and description of the first	Plant that year and the second		Fax	
City / State	. In constant of the state of the continuous department of the state	Zip	manuscription bids of a service or you gave weaponed	Email	
C. Architect					
Name	Mark Marcille	in the control of the property of the propert	n ngan programming to the state of the state	Phone	(732) 662-5824
Street Address	505 Main Street	t dir T 475 dillinghaliyaning pada silammasamasalahydda gyallay yayli ya	· Maydest-Adah Madawakan'anyananyanaganyang	Fax	(732) 662-5826
City / State	Metuchen, NJ	Zip	08840	Email	mark@mpm-arch.com
D. Other Profession	onal Consultants				
Name	de term i teles term teles ( ( ( ( ( ( ( ( ( ( ( ( ( ( ( ( ( ( (		alah tarihiji se man ayang maga maga palah di alah di sebah se sasaha sasa sasaran	Phone	
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City / State	ean produceres see a stronger of property accommodistication of section and section and section and section and	Zip	andamadan name an estas and ender of the Astella control	Email	

#### 4. Plat / Plan Data

#### A. Present Use of Land / Structure

Eormer Ic	e Cream Sho	p (vacant since	December, 2019)				
B. Proposed (	Use of Land / St	rustine halite televisiosisteteja kiterioinine varkasynas anesta ay acteur ja japanusis saara hava ructure	2.8666666666666666666666666666666666666	ordfolder sit strands demokrate versenere er er er en			
and adjacent Upper floors:	parking lot into fo	ur small offices acces ne COAH 2BR, one C	al use of 2,560 square feet; (2) convert ssible from Station Place; and (3) add COAH 3BR, four market rate 2BR and	new commercial space facing Station nine market rate 1BR) on the secon	n Place.		
TOURN HOOFS V	with access solely	from Station Place					
C. Building Da	ata						
Existing:	Floor Area:	3,894	Height in Stories & Feet:	1 Story/21'			
Addition:	Floor Area:	15,300	Height in Stories & Feet:	4 Story/48.4'			
New Bldg:	Floor Area:		Height in Stories & Feet:	hand a middle flort flywyr y gynnwr a yr i gymrai'i o dathailliadaidaidaida dan yr b yn yr yr yr glei flydd flydd y dd y dd y dd y dd y dd y			
Total Floor Ar	ea:	in proceedings (1) in this to transport and the improvement amount a total and additional appropriate the improvement and additional and additional appropriate the improvement amount a total and additional additional and additional and additional additi	- And the American and the Control of the Control o	man reg tang aratin padan abungan keminahan kanan cang ang aran pada 1500 kg/s kg/s pada sebada 100,000 m teru men mengangan pada pada pada 1500 kg/s.			
D. Subdivision	n Data						
Area:	Entire Tract:		Portion being subdivided:	tillhadd sog dag skriver har eksentillar samh hag harves av en en samhallandin harves se eksentillar som en eksentillar som ek			
No. of Lots:	Present		Proposed:	Note that the second se			
No. of Units:	Demolished:		Proposed:				
Purpose:	marga, Espanistri est produktud ustan drudu din ustan filisiginulli (2 <sup>8</sup> 1) i 1 <sup>8</sup> 10 i 19	estamings 355 met ville states at states as 150%, States Model Fry May Fr. and a state filler to 1 Model Friday	a ner sedindishard hydripmilygrahadnissen assasses shassaddolf ph.; plitter (1908) hadis hadis relativestation (hydror)	by a first tendence distributed and hydrolytes (or operating convenience) (of the orbital distributed by spill and shift confidence) have			
E. Non-Reside	ntial Use Data						
Total Elean Assault Dudden		Present 3,894	Proposed 4,669				
Floor Area to be Occupied:		requirings are size on the first for some size one case size and size size of the size of	3,894	4,669			
Off-Street Parking:		THE PROPERTY OF SAME SAME SAME SAME SAME SAME SAME SAME	4	0			
Number of Employees:		And (All All All All And Announcement and Announcement and Announcement Announcement Announcement Announcement	T	TBD			
Days & Hours of Operation:			11AM - 9PM	TBD			
Machinery / Ed	quipment Used:	TBD			The Market and the second		
					Property and the state of the s		
Description of Operation(s):		Permitted	Permitted uses per Redevelopment Plan.				
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## 5. Request for Bulk Variance

A. Bulk Regulations				
Min. Lot Area	District Requirements	Present	Proposed	Variance
Min. Lot Width	4,000sf	7,931	No Change	
Min. Lot Depth (Average)	40'	30.31'/49'	No Change	. 0
Min. Front Yard Setback	100'	200'	No Change	
Min. Side Yard Setback (Left)		.7' Main/39.2' Stat	THE CATUMENT TO SEE A TRACTICATION TO THE CAT FOR THE CATUMENT OF THE CATUMENT	
Min. Side Yard Setback (Right)	0'	0'/19.2'	0 <sup>3</sup> /6 <sup>1</sup>	
Min. Side Yard Setback (Combined)	(1 C C OD SET) PROMIT (AND AND AND AND AND AND AND AND AND AND	4.7'	No Change	
Min. Rear Yard Setback	O'	4.7'	No Change	
Max. Building Coverage	10'	N/A	N/A  and a rest for the state of the state o	. 0
Max. Impervious Coverage	70%	49%	74%	
Max. Height	90%	100%	No Change	
3. Describe below the nature of the co	35'	21'	48.4	
C. Describe below any other exception complying with the Zoning Ordinance.  No variances requested		property that prevent		
D. Describe below how not granting this No variances requested.	variance request wou	ild impose difficulties	or undue hardship u	pon you.
E. Describe below how the granting of public good nor substantially impair the No variances requested.	the variance request the intent and purpose	will not result in subsofthe Zone Plan and	stantial detriment to the Zoning Ordinar	the ice.

# 6. Request for Conditional Use Approval / Use Variance A. Describe below the specifics of the request. No variances requested. B. Describe below the special reasons which exist that support the granting of the request. No variances requested. C. Describe below how the public interest will be served by the granting of the request. No variances requested. D. Describe below what circumstances exist or what measures will be taken to ensure that, if the request is granted, the surrounding property owners will experience no adverse impact or undue burden. No variances requested. E. Describe below how the granting of the request will not result in substantial detriment to the public good nor substantially impair the intent and purpose of the Zone Plan and the Zoning Ordinance. No variances requested.

#### 7. Correspondence

A. Person to b	e contacted in regard to all matters pertainin	g to this App	lication	(If other than Applicant)			
First Name	Eric	Phone	(732)	603-9100			
Last Name	Berger	Phone					
Street Address	402 Main Street, Suite 204						
City / State	Metuchen, NJ zip 08840	Email	eber	ger@usrealestateac	q.con		
I, THE UNDER AND THE WO IS MY RESP METUCHEN F TO COMPLY ENFORCEME CONSTRUCTI IS IN COMPI DEFINED BY WAIVE ANY C	ION OF IMPROVEMENTS WILL NOT BE COMMENCED A LIANCE WITH ALL APPLICABLE REGULATIONS RE- THE CODE OF THE BOROUGH OF METUCHEN. THIS OTHER RESTRICTIONS OR REGULATIONS IMPOSED PR	ACY OF THAT ALL ZONING AT FAILURE TO NDERS IT NUL T THE ABOVE L BARDING ZONI APPLICATION IVATELY OR BY	INFORMA REQUIRE PROVIDE L AND V OCATION NG AND AND ASS	TION. I ACKNOWLEDGE THA MENTS OF THE BOROUGH E ACCURATE INFORMATION /OID AND MAY RESULT IN I UNTIL THE APPLICANT/OWN PROPERTY MAINTENANCE	OF OR AN IER		
	Eric H. Berger, Manager		Date	December 15, 202	0		
B. Owner's Au							
OCUMENTS PRE	Y THAT I AM THE OWNER OF RECORD OF THE PROPEI SENTED TO THE PLANNING BOARD / ZONING BOARD APPLICATION FOR DEVELOPMENT,						
Name	Eric H. Berger, Manager		Date	January 22, 2020	unanisian elid Adean-		
Signature	4/6	f i stragger vor aver sommelief i Mildelyndo 140 dalen. Str 1800 147 filologi.	Philipping gailinggare, a naga ngarang e 1914 e naya		enne sensensommenne plantige desfa		
Telephone & Fax Number: (732) 603-9100; (732) 321-9168							

# Narrative of Proposal 410 Main Street, Metuchen, NJ

Phoenix 410 Main Street, L.L.C., the owner of 410 Main Street, proposes ground level: (1) continued Main Street commercial use of 2,560 square feet; (2) convert rear of existing Main Street commercial space and adjacent parking lot into four small offices accessible from Station Place; and (3) add new commercial space facing Station Place. Phoenix 410 Main Street, L.L.C. proposes 15 apartments (one COAH 2BR, one COAH 3BR, four market rate 2BR and nine market rate 1BR) on the second, third and fourth floors with access solely from Station Place.

410 Main Street is 200' deep (about 30' wide for the first 100' from Main Street and 49' wide for the balance). To accommodate the existing sidewalk elevations, the proposed ground level elevations are proposed to be: (A) remain 99.17 FF in the existing Main Street commercial space; (B) 105 FF in the new offices and Station Place commercial space; and (C) 106 FF in the apartment lobby and common room. The proposed finished ceiling height for the entire ground level will be 114 FF, so that the ceiling height will vary from 14'10" in the Main Street commercial, to 9' in the offices and Station Place commercial, to 8' in the apartment lobby and common room. The second, third and fourth floors are all proposed to have 10' ceiling heights.

The existing Main Street façade is preserved and added to in a manner that compliments the Brass Lantern façade on Main Street, a classic brick design with columns and a large balcony with glass-pane doors. The second floor balcony is 4' below the top of the existing façade to provide privacy while seated but allow residents to look over onto Main Street. The Station Place façade compliments the existing 15 Station Place façade.

The fourth floor is set back 28' from Main Street and 25' from Station Place thereby minimizing its visual impact. At Main Street, the proposed façade is about 40.1' high, which is about 8' lower than the adjacent 406 Main Street. At Station Place, the proposed façade is about 35.7', which is lower than the façade at 15 Station Place. Robbins Hall just across Main Street is 54' high.

The proposed apartments are designed to successfully compete with the other Metuchen luxury apartments recently constructed. There will be an elevator, common roof deck and common room. Each proposed apartment unit has a balcony. There will be a set of ceiling-mounted bike racks for each bedroom, i.e. three racks for the 3BR unit. California Closets will be installed in every unit. Kitchens will have stainless steel appliances (refrigerator, stove, dishwasher, microwave), wood cabinets and granite countertops. MagicPak HVAC will be installed in each unit which do not require a condenser on the roof. Flooring will be hardwood or vinyl hardwood style flooring. There will be a washer and dryer in each unit.

Each apartment will have one parking spot in the Station Place parking lot across the street from the apartment entrance. In their leases, apartment tenants will be prohibited from parking in the adjacent private parking lots behine 406 Main Street and 412 Main Street as well as on Hillside Avenue/Pennsylvania Avenue between Main Street and Robins Place. The commercial units tend to utilize part time workers so no parking spots will be provided to them. Currently, the four apartments at 15 Station Place have two cars total, which would suggest that only eight spots will actually be needed for the proposed development. The 15 Station Place residents do not need a car as whatever they can't get within walking distance can be delivered to them including groceries, plus the train is steps away and Uber or taxi is available to drive them if needed. Fifteen spots will be purchased via the PILOP program.

# Google Maps 15 Station Pl



Imagery @2019 Google, Map data @2019 20 f

